

REPORT TO THE HEARING OFFICER

DATE ISSUED: July 7, 2022
HEARING DATE: July 19, 2022 AGENDA ITEM: 9
PERMIT NUMBER: Oak Tree Permit RPPL2015000323
SUPERVISORIAL DISTRICT: 1
PROJECT LOCATION: 3465 Turnbull Canyon Rd., Hacienda Heights, CA 91745
OWNER: Edward Huang
APPLICANT: Edward Huang
CASE PLANNER: Carl Vincent Nadela, AICP, Senior Regional Planner
cnadela@planning.lacounty.gov

RECOMMENDATION

The following recommendation is made prior to the public hearing and is subject to change based upon testimony and/or documentary evidence presented at the public hearing:

LA County Planning staff ("Staff") recommends **APPROVAL** of Oak Tree Permit Number ("OTP") RPPL2015000323, based on the Findings (Exhibit C – Findings) contained within this report and subject to the Draft Conditions of Approval (Exhibit D – Conditions of Approval).

Staff recommends the following motion:

I, THE HEARING OFFICER, CLOSE THE PUBLIC HEARING AND FIND THAT THE PROJECT IS CATEGORICALLY EXEMPT PURSUANT TO STATE AND LOCAL CEQA GUIDELINES AND APPROVE OAK TREE PERMIT NUMBER RPPL2015000323 SUBJECT TO THE ATTACHED FINDINGS AND CONDITIONS.

PROJECT DESCRIPTION**A. Entitlement(s) Requested**

OTP for the encroachment into the protected zone of 16 non-heritage oak trees in conjunction with the construction of a new single-family residence (“SFR”) in the A-1-1 (Light Agricultural – One Acre Minimum Required Lot Area) Zone pursuant to Los Angeles County (“County”) Code Section 22.174.030 (Oak Tree Permits Applicability).

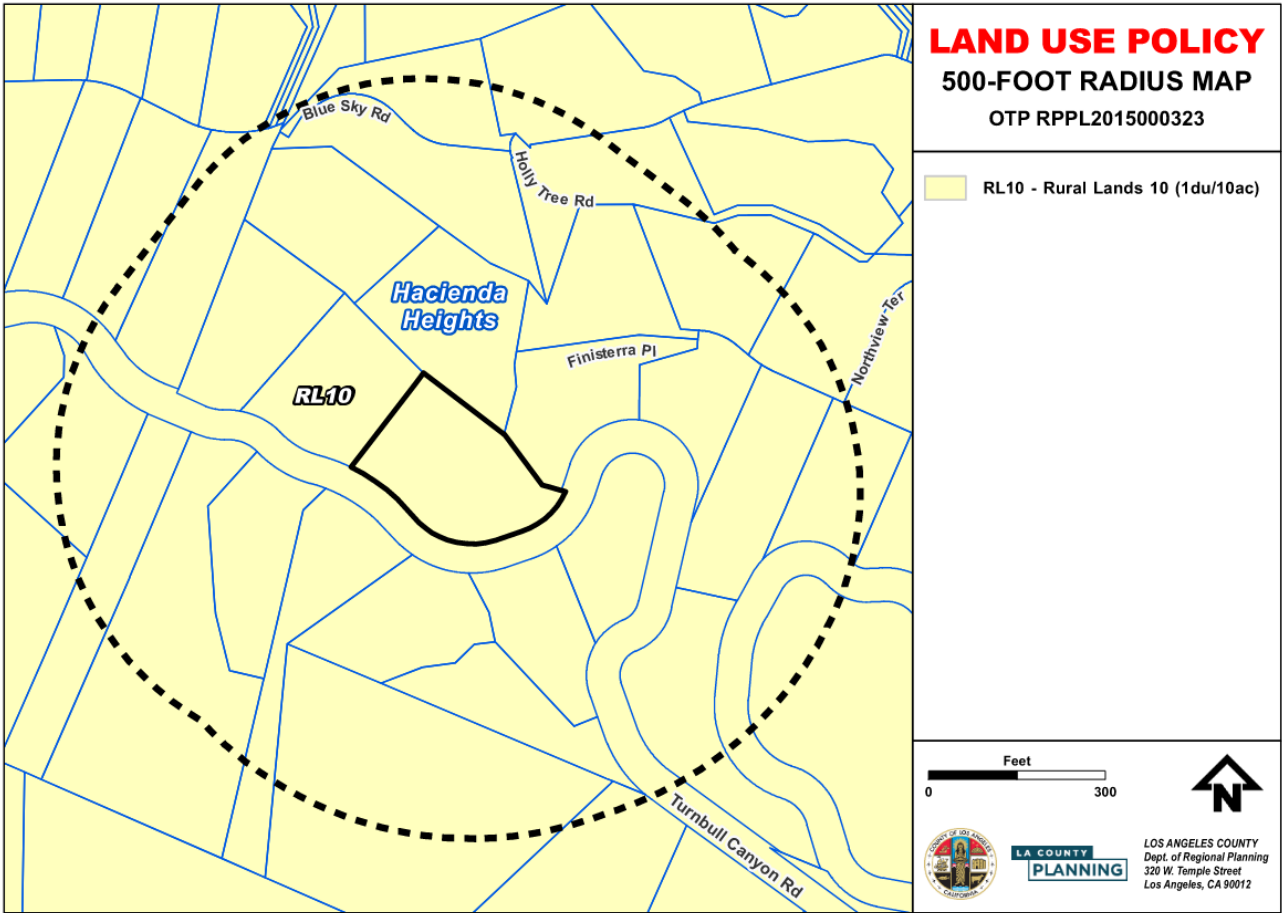
B. Project

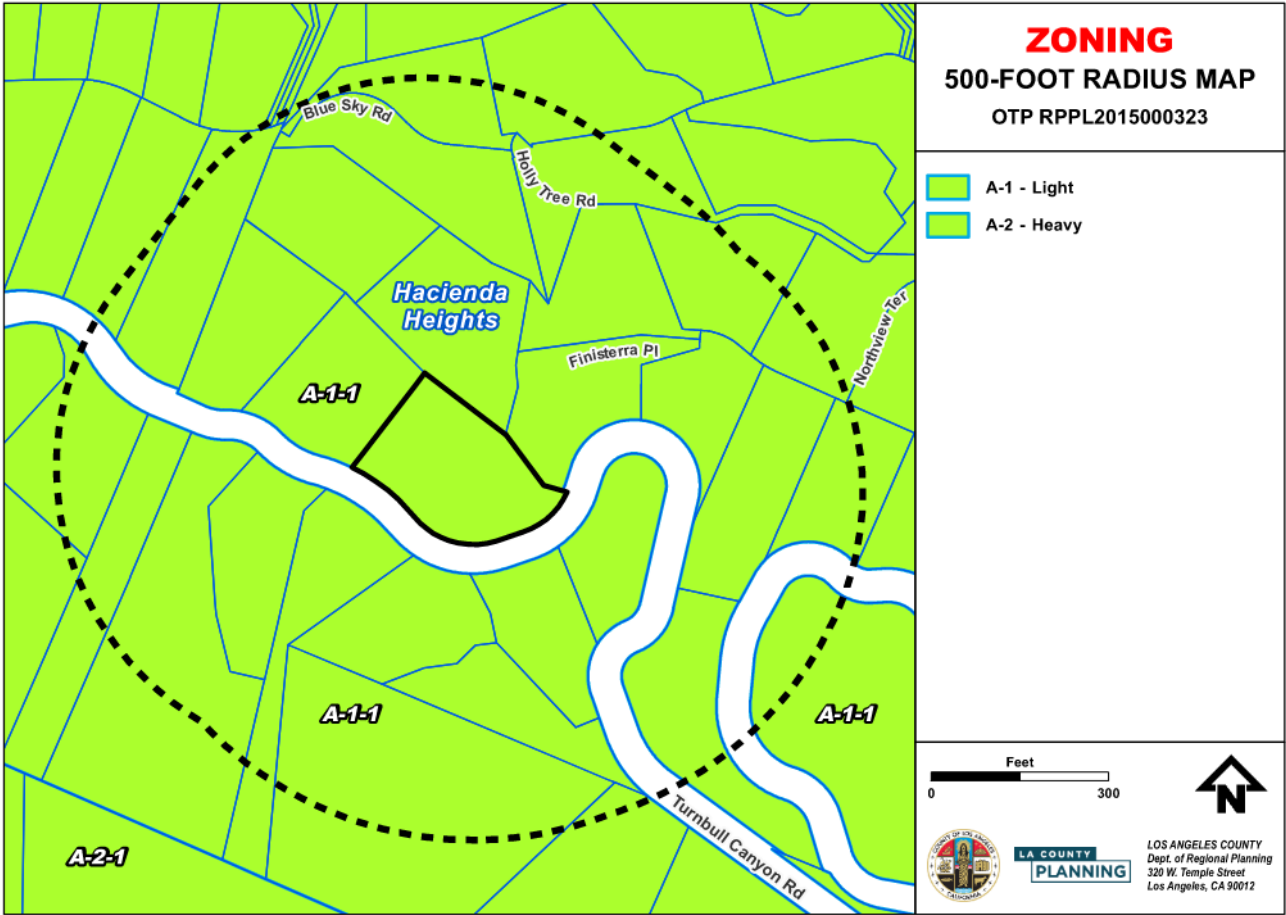
The Project is for the encroachment into the protected zone of 16 non-heritage oak trees in conjunction with the construction of a new SFR and three-car garage on a currently vacant lot. The construction of the SFR will be reviewed separately through Site Plan Review (“SPR”) RPPL2016000644 and cannot be approved without approval of this OTP request.

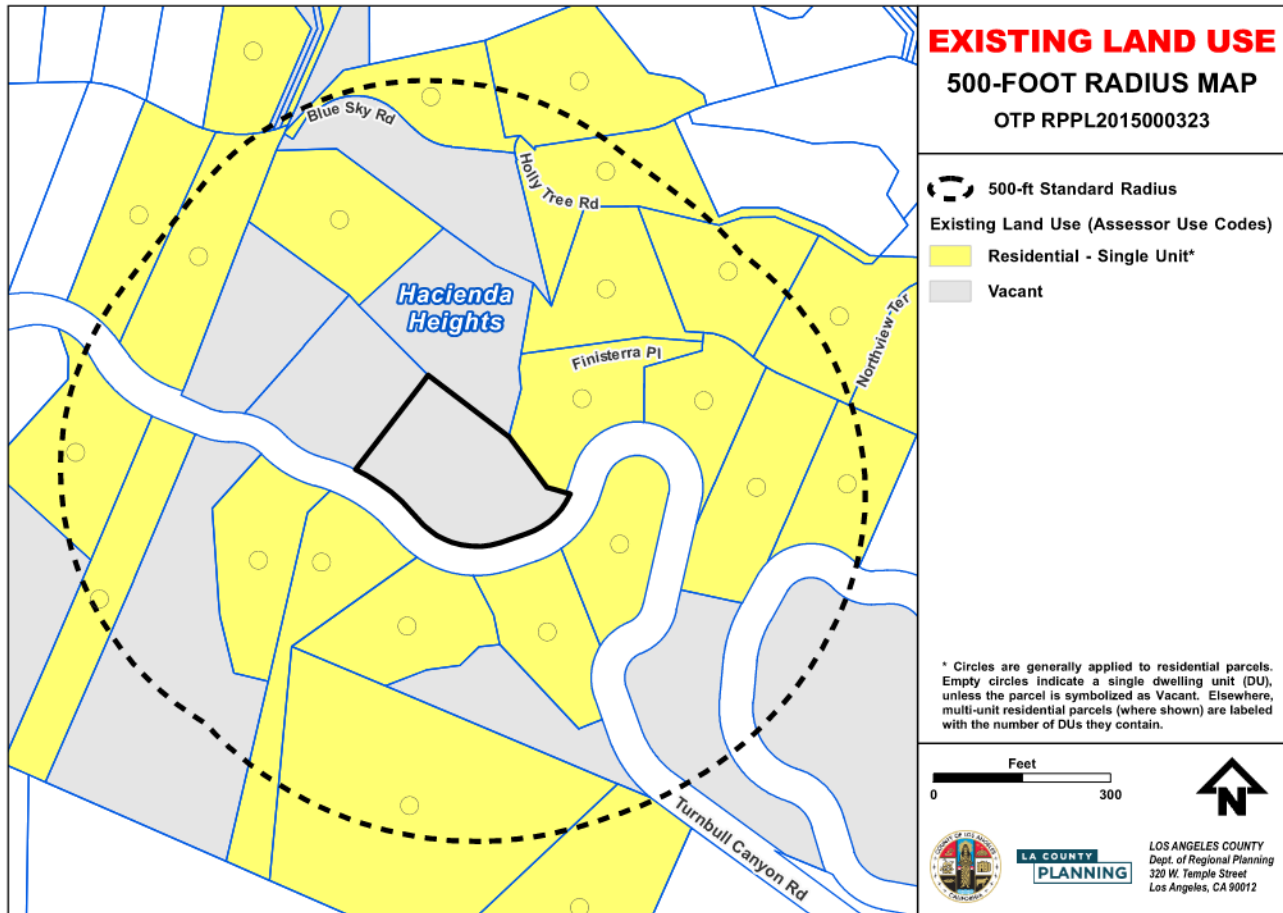
SUBJECT PROPERTY AND SURROUNDINGS

The following chart provides property data within a 500-foot radius:

LOCATION	HACIENDA HEIGHTS COMMUNITY PLAN LAND USE POLICY	ZONING	EXISTING USES
SUBJECT PROPERTY	RL10 (Rural Lands 10 – Maximum 1 du/1 gross ac)	A-1-1	Vacant
NORTH	RL10	A-1-1	SFR, Vacant
EAST	RL10	A-1-1	SFR, Vacant
SOUTH	RL10	A-1-1	SFR, Vacant
WEST	RL10	A-1-1	SFR, Vacant







PROPERTY HISTORY

A. Zoning History

ORDINANCE NO.	ZONING	DATE OF ADOPTION
5122	A-1-1	5/25/1948
201000004z	A-1-1	5/24/2011

B. Previous Cases

No previous cases were found on record.

C. Violations

CASE NO.	VIOLATION	CLOSED
15-0003373	Damage to oak trees without OTP	10/22/2018

ANALYSIS**A. Land Use Compatibility**

The Project Site is a vacant lot located in the hillside areas of Hacienda Heights. Surrounding lots are developed with low-density single-family residential development or are currently vacant. The proposed SFR at the Project Site is consistent with current land uses in the surrounding areas.

B. Neighborhood Impact (Need/Convenience Assessment)

The Project Site is located in an area that is primarily developed with low density single-family residential developments. There are 40 non-heritage oak trees identified at or near the Project Site. The proposed oak tree encroachments are associated with a proposed SFR which is compatible with the surrounding land uses. The encroachments into non-heritage Oak Trees No. 1, 7, 9, 12, 13, 17, 18, 19, 21, 24, 25, 26, 27, 28, 29 and OTP219, as identified by the Oak Tree Plan, were unavoidable in order for the property owner to make reasonable use of the privately-owned lot since these trees were located in the part of the property that was the most developable or were in the areas where the access driveway was most feasible. The placement and design of the proposed SFR have minimized the impacts to the existing oak trees at the site to the greatest extent feasible, thus resulting in no removals and only 16 encroachments out of the 40 oak trees located at or near the Project Site. This minimizes the impact to the surrounding neighborhood to the greatest extent feasible.

C. Design Compatibility

The construction of the SFR is being reviewed separately through SPR RPPL2016000644. This review will determine compliance of the proposed SFR with the requirements and development standards of the A-1 zone and other Title 22 requirements. The SPR cannot be approved until this subject OTP is approved.

GENERAL PLAN/COMMUNITY PLAN CONSISTENCY

The Project is consistent with applicable goals and policies of the General Plan and Hacienda Heights Community Plan. Consistency findings can be found in the attached Findings (Exhibit C – Findings).

ZONING ORDINANCE CONSISTENCY

The proposed project complies with all applicable zoning requirements. Consistency findings can be found in the attached Findings (Exhibit C – Findings).

BURDEN OF PROOF

The applicant is required to substantiate all facts identified by Section 22.174.060 (Oak Tree Permits Findings and Decision) of the County Code. The Burden of Proof with applicant's responses is attached (Exhibit E – Applicant's Burden of Proof). Staff is of the opinion that the applicant has met the burden of proof.

ENVIRONMENTAL ANALYSIS

Staff recommends that this project qualifies for a Categorical Exemption (Class 3 Exemption, New Construction or Conversion of Small Structures); and Class 4 Exemption, Minor Alteration of Land) under the California Environmental Quality Act ("CEQA") and the County environmental guidelines. The Project involves the encroachment into the protected zone of 16 non-heritage oak trees in conjunction with the construction of an SFR. The Project Site is not in an environmentally sensitive area nor is it in a designated historic district. Parts of the Project Site have clusters of Oak Trees, which are technically Oak Woodlands. However, only a limited part of the development is proposed there and there are minimal Project impacts in those areas and therefore are not significant or cumulative. Because of these, there are no exceptions to the proposed exemptions and thus, the exemptions still apply to the Project. Therefore, staff recommends that the Hearing Officer determine that the project is categorically exempt from CEQA. An environmental determination (Exhibit F – Environmental Determination) was issued for the Project.

COMMENTS RECEIVED**A. County Department Comments and Recommendations**

The County Fire Department, Forestry Division, in a letter dated April 20, 2022, indicates that the Oak Tree Report submitted by the applicant is accurate and complete as to the location, size, condition and species of the oak trees on the site and recommends several conditions of approval, which have been incorporated into this OTP.

B. Other Agency Comments and Recommendations

Staff has not received any comments at the time of report preparation.

C. Public Comments

Staff has not received any comments at the time of report preparation.

Report

Reviewed By:



Maria Masis, AICP, Supervising Regional Planner

Report

Approved By:



Susan Tae, AICP, Assistant Administrator

LIST OF ATTACHED EXHIBITS

EXHIBIT A	Plans
EXHIBIT B	Project Summary Sheet
EXHIBIT C	Findings
EXHIBIT D	Conditions of Approval
EXHIBIT E	Applicant's Burden of Proof
EXHIBIT F	Environmental Determination
EXHIBIT G	Informational Maps
EXHIBIT H	Photos
EXHIBIT I	Agency Correspondence
EXHIBIT J	Oak Tree Report

OAK TREE PLAN
SOME TREE LOCATIONS ARE APPROXIMATE
3465 TURNBULL CANYON ROAD

168CAD
www.168cad.net

135 SOUTH STATE COLLEGE SUITE
200, BREA, CA 92821
168cad@gmail.com
Tel: (626) 899-6108
www.168CAD.net

REVISIONS	
DATE	NO.
	1

THESE DRAWINGS AND SPECIFICATIONS, IDEAS, DESIGNS AND ARRANGEMENTS ARE, AND SHALL REMAIN, THE PROPERTY OF 168CAD. NO PART SHALL BE COPIED, REPRODUCED OR OTHERWISE USED, DIRECTLY OR INDIRECTLY, IN WHOLE OR IN PART, IN CONNECTION WITH ANY OTHER WORK OR PROJECT WITHOUT THE WRITTEN CONSENT OF 168CAD. VISUAL CONTACT WITH THESE DRAWINGS AND/OR SPECIFICATIONS SHALL CONSTITUTE A PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

SHEET TITLE
OAK TERR PLAN

KEY

Oak tree location

Oak tree canopy dripline

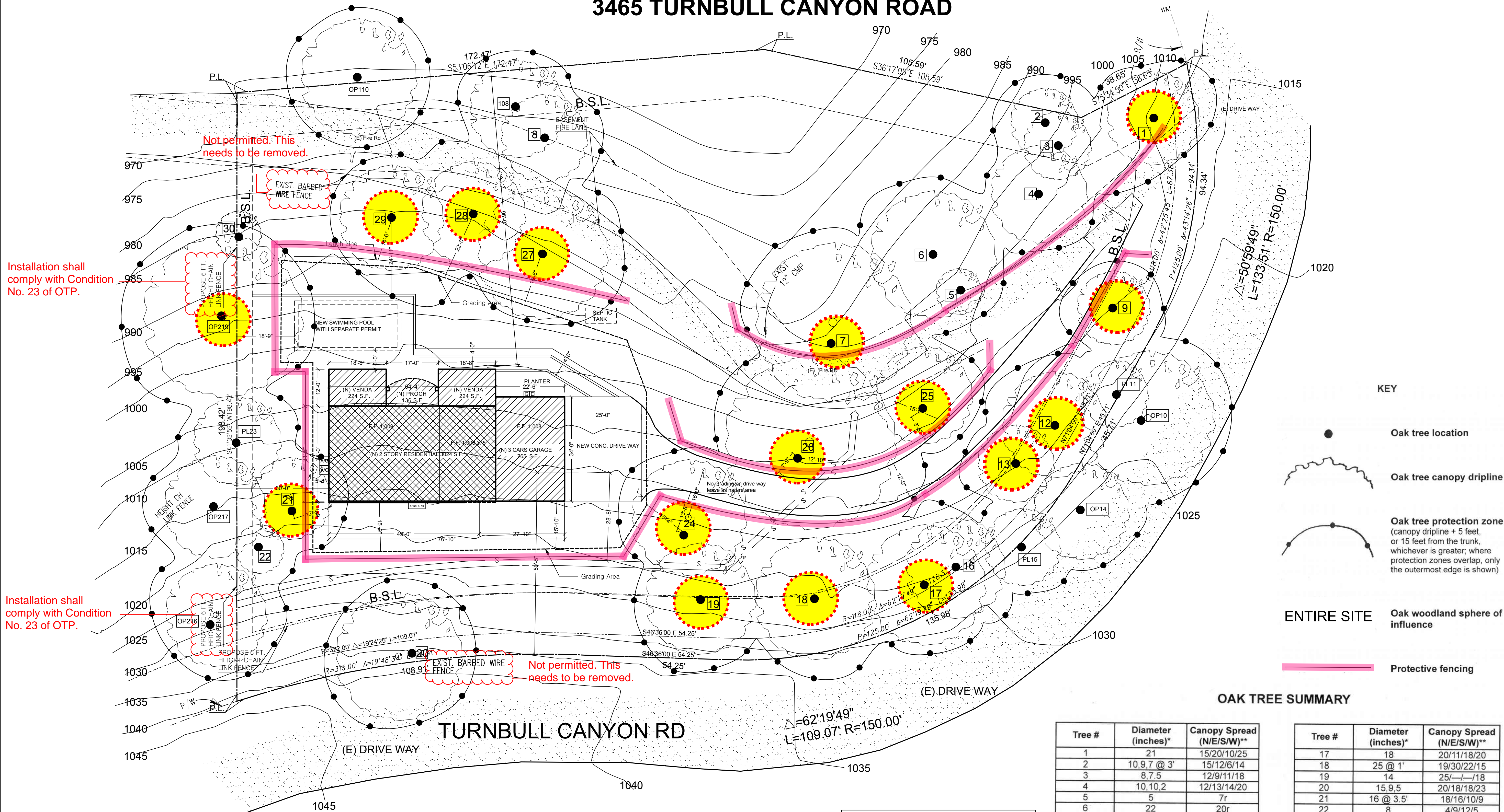
Oak tree protection zone (canopy dripline + 5 feet, or 15 feet from the trunk, whichever is greater; where protection zones overlap, only the outermost edge is shown)

ENTIRE SITE Oak woodland sphere of influence

Protective fencing

PROJECT NAME & ADDRESS
NEW RESIDENCE
3465 TURNBULL CANYON RD HACIENDA HEIGHTS, CA 91745

Date	12/12/21
Drawn	ALAN
Sheet	A-0
C of Sheet	



Installation shall comply with Condition No. 23 of OTP.

Installation shall comply with Condition No. 23 of OTP.

Not permitted. This needs to be removed.

OAK TREE PLAN

SCALE: 1/16" = 1'-0"

Alison Lancaster Consulting Arborists LLC
1744 Franklin Street Unit B
Santa Monica, CA 90404

1/3/22

Arborist Notes:

- The Oak Tree Summary at right was prepared by the Project Arborist.
- At the request of the applicant, the Project Architect mapped the oak tree canopy driplines and tree protection zones based on the Oak Tree Summary. The applicant and Project Architect are therefore responsible for dripline and TPZ accuracy as depicted on this Plan.
- The entire site is covered by oak woodland - therefore, an oak woodland sphere of influence has not been shown.

OAK TREE SUMMARY

Tree #	Diameter (inches)*	Canopy Spread (N/E/S/W)**
1	21	15/20/10/25
2	10.9.7 @ 3'	15/12/6/14
3	8.7.5	12/9/11/18
4	10.10.2	12/13/14/20
5	5	7r
6	22	20r
7	30 @ 2'	31/30/19/18
8	~7.7	14r
108	~7.6.6	15r
OP110	~16.7 @ 2'	18r
9	18 @ grade	10/11/14/11
OP10	~28	19/26/22/23
PL11	4.4.4.4.3	14/14/6/6
12	15.5	18/21/7/19
13	11.7	12/-/8/21
OP14	~24	16/17/15/17
PL15	18	8/4/15/16
16	14 @ 1'	18/7/18/5

Tree #	Diameter (inches)*	Canopy Spread (N/E/S/W)**
17	18	20/11/18/20
18	25 @ 1'	19/30/22/15
19	14	25/-/-/18
20	15.9.5	20/18/18/23
21	16 @ 3.5'	18/16/10/9
22	8	4/9/12/5
OP217	19	20/22/11/18
OP216	15.7	19/21/15/9
PL23	10.8.5 @ 4'	16/17/4/14
24	26	22/27/20/12
25	13	20/18/10/9
26	25.14	30/34/34/18
27	22 @ 2'	24/22/22/18
28	14 @ 2.5'	20/18/17/15
29	19 @ 3'	15/21/28/15
30	6	9/7/3/3
OP219	33 @ .5'	26/24/24/30

* Diameter is measured in inches at standard height of 4.5 feet above grade
** Canopy dripline is estimated in feet in four compass directions, or as an average radius (r)

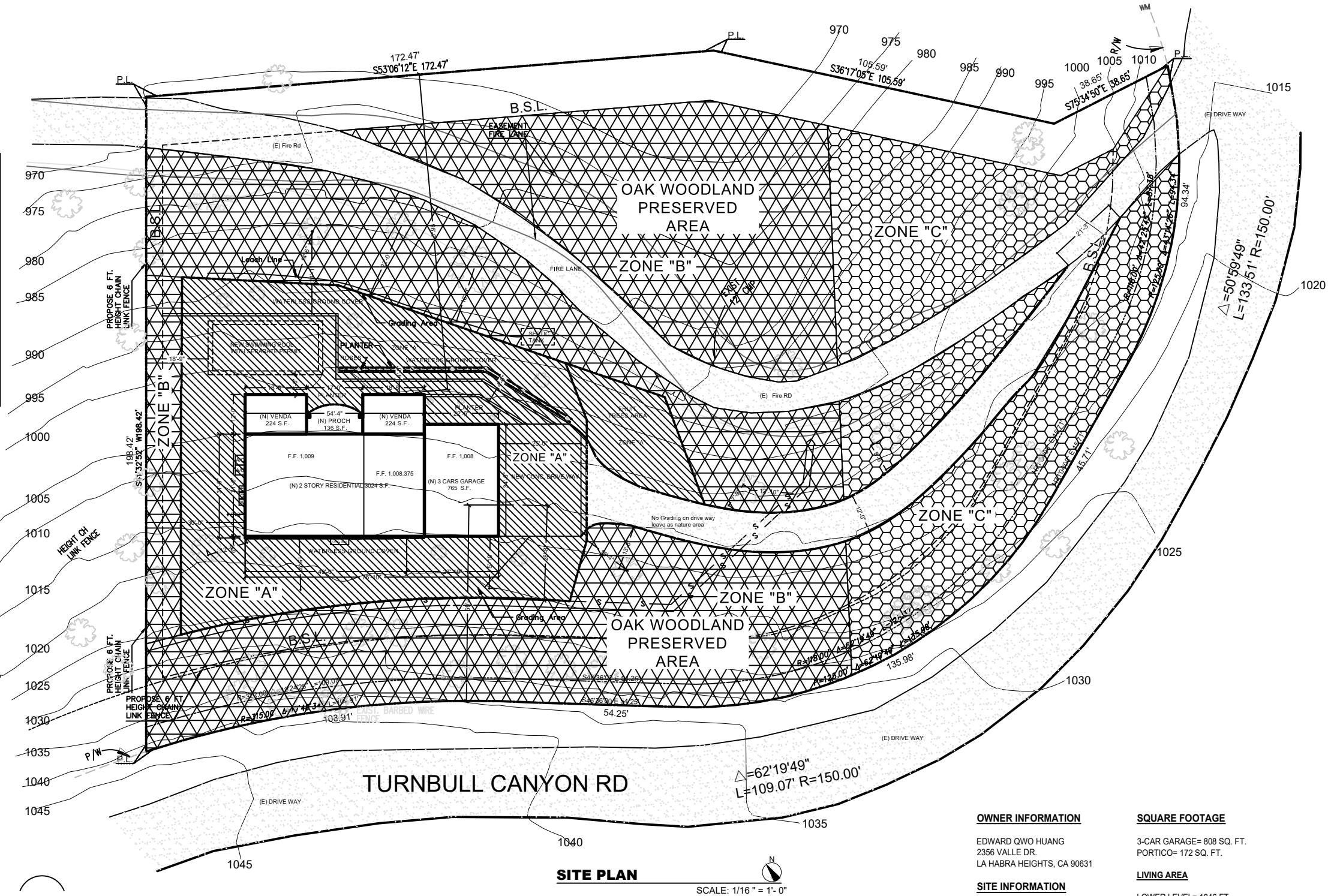
For detailed information about the condition of each oak tree, please refer to the Field Inventory Data attached to the accompanying Oak Tree Report.

FUEL MODIFICATION
(DISTURBED AREA)
ZONE A (20') + TWO
DRIVEWAYS

FUEL MODIFICATION
ZONE B (80')
(OAK WOODLAND
PRESERVED AREA)

FUEL MODIFICATION
ZONE C (100')
(OAK WOODLAND
PRESERVED AREA)

NOTE: FOR CONCEPTUAL TREE LEGEND
SEE SHEET #2



OWNER INFORMATION

EDWARD QWO HUANG
2356 VALLE DR.
LA HABRA HEIGHTS, CA 90631

SITE INFORMATION

PRIVATE PROPERTY
3465 TURNBULL CANYON ROAD
HACIENDA HEIGHTS, CA 91745
A.P.N.: 8221-040-003

SQUARE FOOTAGE

3-CAR GARAGE= 808 SQ. FT.
PORTICO= 172 SQ. FT.

LIVING AREA

LOWER LEVEL= 1846 FT.
MAIN LEVEL= 1381 FT.
FOOTPRINT AREA= 3227 FT.

DATE	
REVISION / DESCRIPTION	
No.	

FUEL MODIFICATION PLAN
COUNTY OF LOS ANGELES, CA

DRAWN BY: PJP
TITLE: CIVIL ENGINEER
DATE: 05/26/2022
PROJECT No.:

SITE LOCATION:
3465 TURNBULL CANYON RD
HACIENDA HEIGHTS, CA 91745

SHEET NO.



GENERAL NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THAT FURNISHED BY SUBCONTRACTORS.

2. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS; DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATION. THE OWNER OR DESIGNER SHALL BE NOTIFIED IF ANY DISCREPANCY OCCURS PRIOR TO CONTINUING WITH WORK.

3. ALL PLAN DIMENSIONS ARE FROM CENTER LINE OF STUD OR FACE OF FINISH UNLESS OTHERWISE INDICATED.

4. ANY CHANGES PRIOR TO APPROVED SET OF PLANS, 168CAD ARCH DESIGN MUST BE NOTIFIED. CONTRACTOR OR PERSON CONDUCTING WORK SHOULD NOTIFY 168CAD ARCH DESIGN IF ANY DISCREPANCY OCCURS DURING CONSTRUCTION. 168CAD ARCH DESIGN IS NOT RESPONSIBLE FOR CONTRACTOR OR HOME BUILDER PERFORMANCE TO PERFORM WORK.

5. ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS.

6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING MECHANICAL AND ELECTRICAL SERVICES AND DISTRIBUTION SYSTEMS WHETHER SHOWN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE PERFORMANCE OF THE WORK.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OR REMEDY OF ANY FAULTY, IMPROPER OR INTERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN (1) YEAR OR AS OTHERWISE SPECIFIED FOR A SPECIFIC COMPONENT AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.

8. SILICONE CAULK SHALL BE USED AT THE FOLLOWING LOCATIONS INCLUDING BUT LIMITED TO:

1. METAL DOOR AND WALL CONNECTION

2. CONDUIT AND PIPE PENETRATIONS AT WALLS AND CEILING.

3. JUNCTION OF MILLWORK (CABINETS, SHELVES, BOOTHS).

4. STAINLESS STEEL TO WALLS

9. DO NOT CAULK ANY OTHER AREAS, ESPECIALLY AT GREYWOOD. CONTRACTOR IS TO CLEAN WORK AREAS ON A DAILY BASIS SO AS NOT TO ACCUMULATE DEBRIS.

10. UPON PROJECT COMPLETION CONTRACTOR IS TO CLEAN WORK AREAS AND JOB SITE THOROUGHLY SO AS TO REMOVE ALL CONSTRUCTION DUST, RESIDUE, AND DEBRIS.

11. DO NOT OBSTRUCT STREETS, SIDEWALKS, ALLEYS OR OTHER RIGHT-OF-WAY WITHOUT FIRST OBTAINING PROPER PERMITS.

12. ALL WORK SHALL BE ACCOMPLISHED WITH QUALITY WORKMANSHIP OF THE HIGHEST INDUSTRY STANDARDS. ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS. MATERIALS AND METHODS SHALL CONFORM TO THE APPROPRIATE NATIONAL TRADE BOOK, I.E. TILE COUNCIL OF AMERICA HANDBOOK FOR CERAMIC TILE INSTALLATION, ARCHITECTURAL WOODWORK INSTITUTE, "QUALITY STANDARDS" ETC.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SAFETY, AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE SAFETY OF WORKS AND OCCUPANTS AT ALL TIMES.

14. ALL CONSTRUCTION SHALL BE PERFORMED DURING THE HOURS OF 7:00 AM TO 6:00 PM, MONDAY THROUGH SATURDAY. NO WORK IS TO OCCUR ON SUNDAYS OR HOLIDAYS.

15. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL MINOR ITEMS WHICH ARE OBVIOUSLY AND REASONABLE NECESSARY TO COMPLETE ANY INSTALLATION.

16. MINIMUM FLAME SPREAD CLASSIFICATION OF INTERIOR FINISH SHALL CONFORM TO THE BUILDING CODE AND LOCAL GOVERNING BUILDING CODES/ORDINANCES.

17. PROJECT SHALL CONFORM TO THE:

2019 CBC

2019 CMC

2019 CPC

2019 CEC

2019 T-24

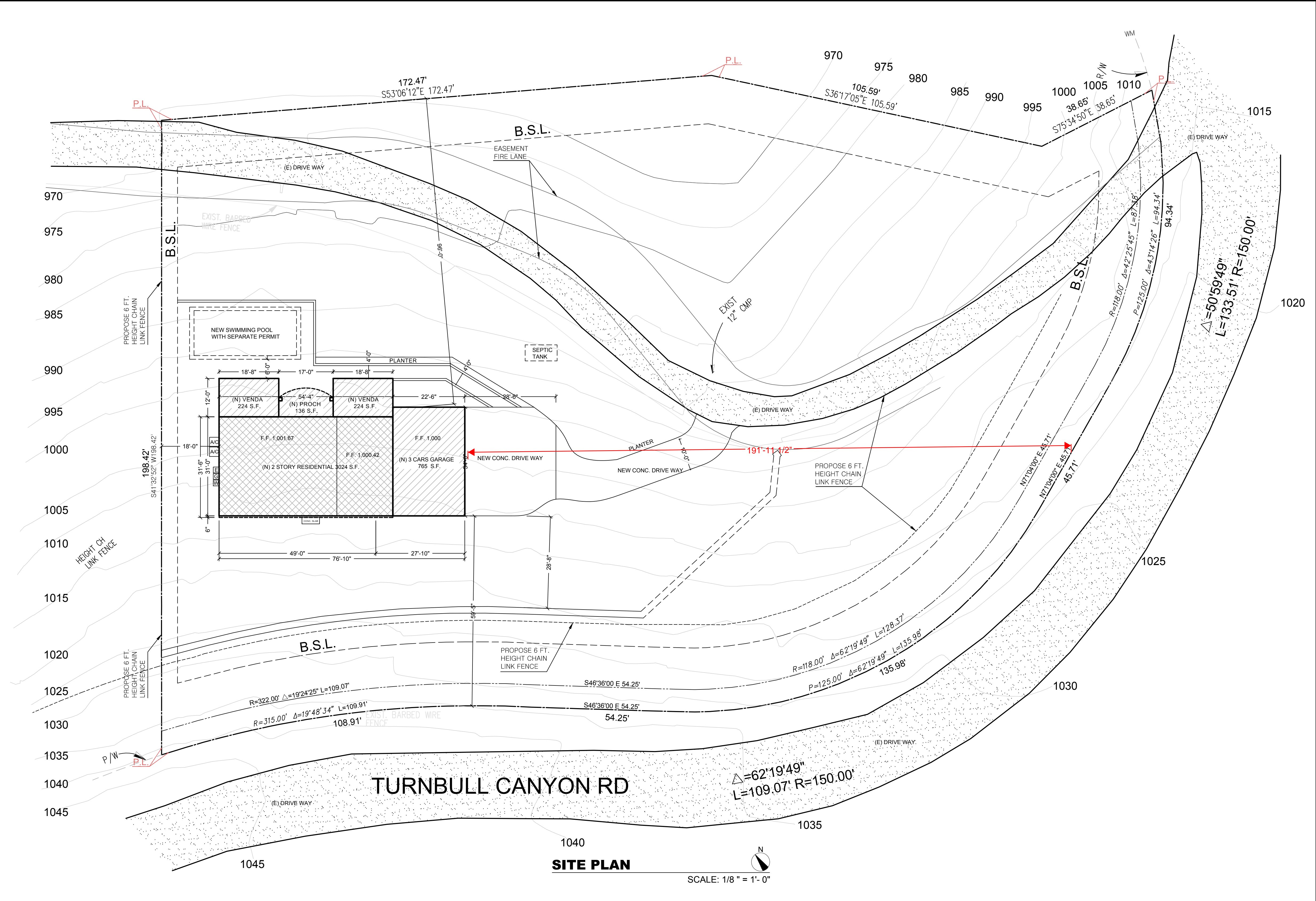
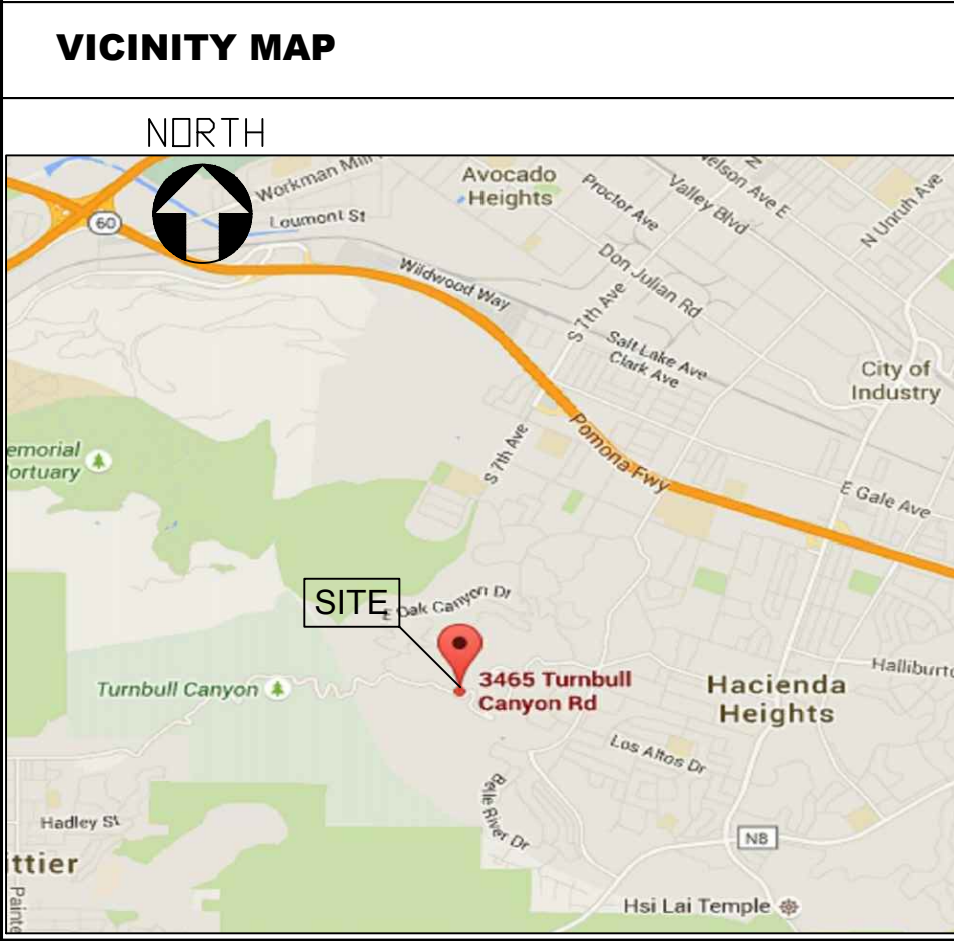
2020 LA COUNTY CRC

AND ALL CITY AND COUNTY LAWS AND ORDINANCES.

18. ADDITIONAL MECHANICAL, ELECTRICAL AND PLUMBING PERMITS SHALL BE OBTAINED AS REQUIRED.

SPECIFICATION		
SCOPE OF WORK		
1. (N) 2 TSORY RESIDENTIAL LOWER LEVEL	3024 S.F.	1684 S.F.
UPPER LEVEL	1711 S.F.	371 S.F.
OPEN TO BELOW		
2. (N) 3 CARS GARAGE	765 S.F.	
3. (N) VENDA	448 S.F.	
4. (N) DECK	328 S.F.	
5. (N) PROCH	136 S.F.	

LEGEND	
<div>W</div>	WATER METER
<div>G</div>	GAS METER
<div>E</div>	ELECTRICAL PANEL
<div>P</div>	POWER POLE
<div>P.W</div>	POTABLE WATER METER
<div>A/C</div>	AIR CONDITION
<div>S</div>	SEWER
<div>D</div>	DOWN SPOUT
<div>F</div>	FIRE HYDRANT
<div>S.M</div>	GAS MASS FLOW METER



ABBREVIATIONS		PROJECT DATA		SYMBOL LEGEND		SHEET INDEX		CONSULTANT INFOR.			
<div>AC.T. -ACOUSTICTILE</div> <div>AFF -ABOVE FINISH FLOOR</div> <div>BLDG -BUILDING</div> <div>BLK -BLOCK</div> <div>BMT -BOTTOM</div> <div>C.B.-CATCHBASIN</div> <div>CEM -CEMENT</div> <div>CER.T.-CERAMIC TILE</div> <div>C.J.-CONTROL JOINT</div> <div>CLR.-CLEAR</div> <div>CLG -CEILING</div> <div>CONC.-CONCRETE</div> <div>CONSTR.-CONSTRUCTION</div> <div>CONT.-CONTINUOUS</div> <div>CONTR.-CONTRACTOR</div> <div>CTR.-CENTER</div> <div>DET.-DETAIL</div> <div>DIA.-DIAMETER</div> <div>DIM -DIMENSION</div> <div>D.O.-DOOR OPENING</div> <div>DWG -DRAWING</div> <div>ELEV -ELEVATION</div> <div>EXT -EXTERIOR</div> <div>F.F.-FINISH FLOOR</div> <div>F.G.-FINISH GRADE</div> <div>FIN -FINISH</div> <div>FLR -FLOOR</div> <div>FDN -FOUNDATION</div> <div>FTG -FOOTING</div> <div>FURR -FURRING</div>		<div>GEN -GENERAL</div> <div>HYD -HYDRANT</div> <div>INSUL -INSULATION</div> <div>LAV -LAVATORY</div> <div>LT -LIGHT</div> <div>MAR -MARBLE</div> <div>MAS -MASONRY</div> <div>MAX -MAXIMUM</div> <div>MECH.-MECHANICAL</div> <div>MIN -MINIMUM</div> <div>MISC.-MISCELLANEOUS</div> <div>NO -NUMBER</div> <div>O/C -ON CENTER</div> <div>O.D.-OUTSIDE DIAMETER</div> <div>OPNG -OPENING</div> <div>PLYWD -PLYWOOD</div> <div>PTD -PAINTED</div> <div>R.D.-ROOF DRAIN</div> <div>REINF.-REINFORCEMENT</div> <div>REQD.-REQUIRED</div> <div>STD -STANDARD</div> <div>T.O.P.-TOP OF PLATE</div> <div>TYP -TYPICAL</div> <div>VCT -VINYL COMPOSITION TILE</div> <div>WD -WOOD</div> <div>WT -WEIGHT</div> <div>(N) -NEW</div> <div>(E) -EXISTING</div>		<div>A.P.N. 8221-040-003</div> <div>ZONING A-1-1 (LIGHT AGRICUL TURAL)</div> <div>LAND USE POLICY H2 / HACIENDA HEIGHTS COMMUNITY PLAN</div> <div>OCCUPANCY GROUP R-3/U (SINGLE FAMILY)</div> <div>CONSTRUCTION TYPE V-B</div> <div>FIRE SPRINKLERS YES</div> <div>LOT SIZE 54014 S.F.</div>		<div><div><div>X</div><div>XX.X</div></div>DETAIL NUMBER DRAWING WHERE DETAIL IS DRAWN</div> <div><div><div>X</div><div>XX.X</div></div>WALL SECTION NUMBER DRAWING WHERE SECTION IS DRAWN</div> <div><div><div>X</div><div>XX.X</div></div>INTERIOR OR EXTERIOR ELEVATION DRAWING WHERE ELEVATION IS DRAWN</div> <div><div><div>X</div></div>REVISION CALLOUT</div> <div><div><div>XX</div></div>KEY NOTE, REFER TO LISTING ON SAME DWG. FOR DESCRIPTION</div> <div><div><div>W#</div></div>WINDOW SYMBOL</div> <div><div><div>D#</div></div>DOOR NUMBER</div> <div><div><div>X</div><div></div></div>PHOTOGRAPH DIAGRAMS</div>		<div>A-1. COVER SHEET, SITE PLAN</div> <div>A-2. FLOOR PLAN</div> <div>A-3. FLOOR PLAN</div> <div>A-4. ELEVATION</div>		<div>OWNER NAME RAFAEL SANCHEZ PHONE 4345 E PHILLIPS BLVD CHINO CA,91710 ADDRESS (909) 917 5882</div> <div>DESIGNER / CONTACT NAME IRIS CHAU ADDRESS 135 SOUTH STATE COLLEGE SUITE 200,BREA,CA,92821 PHONE (626) 632 0539</div> <div>STRUCTURE NAME PHONE EMAIL</div> <div>T24 ENERGY NAME PHONE EMAIL</div>	

168CAD

www.168cad.net

135 SOUTH STATE COLLEGE SUITE
200,BREA,CA,92821
168cad@gmail.com
Tel: (626) 899-6108
www.168CAD.net

REVISIONS

DATE	NO.
	X

THESE DRAWINGS AND SPECIFICATIONS, IDEAS, DESIGNS AND ARRANGEMENTS ARE, AND SHALL REMAIN, THE PROPERTY OF 168CAD NO PART SHALL BE COPIED, REPRODUCED OR OTHERWISE USED DIRECTLY OR INDIRECTLY, IN WHOLE OR IN PART, IN CONNECTION WITH ANY OTHER WORK OR PROJECT WITHOUT THE WRITTEN CONSENT OF 168CAD VISUAL CONTACT WITH THESE DRAWINGS AND/OR SPECIFICATIONS SHALL CONSTITUTE A PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

SHEET TITLE

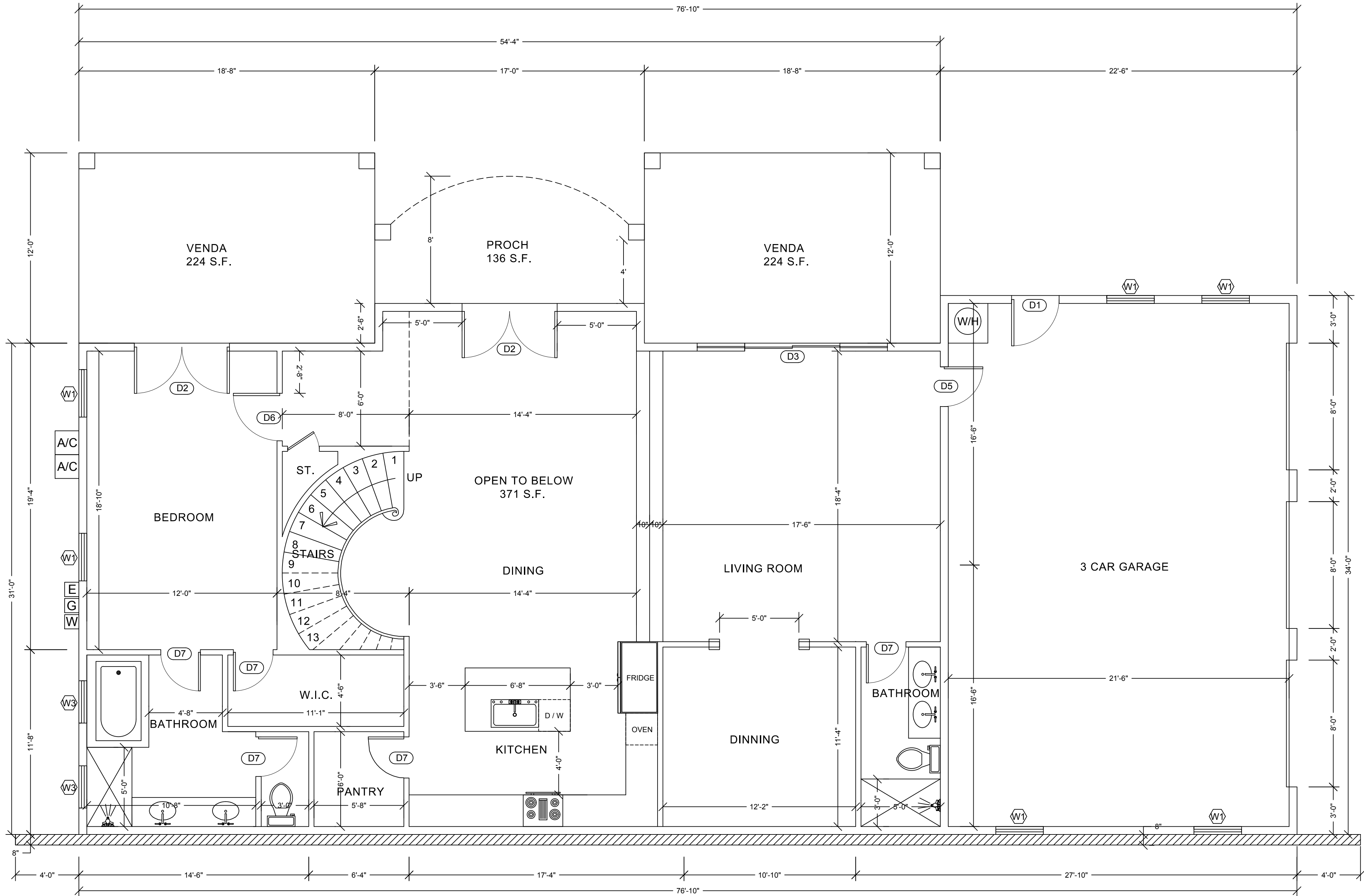
SITE PLAN
COVER SHEET

PROJECT NAME & ADDRESS

NEW RESIDENCE

3465 TURNBULL CANYON RD
HACIENDA HEIGHTS,CA,91745

Date	08/30/21
Drawn	ALAN
Sheet	A-1
C of Sheet	



LOWER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

NEW DOOR SCHEDULE					
KEY	DIMENSION		TYPE	MATERIAL	HARDWARE
	W	H			
D1	3'-0"	8'-0"	SWING	VINYL	KEY LOCK
D2	6'-0"	8'-0"	SWING	WOOD	PRIVACY LOCK
D3	6'-0"	8'-0"	SLIDER	VINYL	PRIVACY LOCK
D4	2'-6"	6'-8"	SWING	METAL	PRIVACY LOCK
D5	2'-6"	6'-8"	SWING	WOOD (GARAGE)	PRIVACY LOCK
D6	2'-8"	8'-0"	SWING	WOOD	PRIVACY LOCK
D7	2'-6"	6'-8"	SWING	WOOD	PRIVACY LOCK

NOTES:
TEMPERED GLASS TYP. SAFETY GLAZING SHALL BE IN CONFORMANCE WITH THE APPLICABLE I.A.C.R.C. ALL EXTERIOR DOORS SHALL BE 1-3/8"(MIN) WITH TEMPERED GLASS U.N.O.

NEW WINDOW SCHEDULE					
KEY	DIMENSION		TYPE	FRAME	MATERIAL
	W	H			
W1	3'-0"	4'-0"	A	VINYL	LOW E, INSULATED
W2	3'-0"	1'-8"	A	VINYL	LOW E, INSULATED
W3	2'-8"	1'-8"	A	VINYL	LOW E, INSULATED
W4	3'-6"	2'-8"	A	VINYL	LOW E, INSULATED
W5	2'-8"	6'-0"	C	VINYL	LOW E, INSULATED
W6	2'-0"	3'-6"	A	VINYL	LOW E, INSULATED

NOTES: COORDNATE W/ENERGY PLAN

WINDOW TYPE			
SEE EXTERIOR ELEVATIONS FOR NUMBER OF GRIDS			

168CAD

www.168cad.net

135 SOUTH STATE COLLEGE SUITE
200,BREA,CA,92821
168cad@gmail.com
Tel: (626) 899-6108
www.168CAD.net

REVISIONS	
DATE	NO.

THESE DRAWINGS AND SPECIFICATIONS, IDEAS, DESIGNS AND ARRANGEMENTS ARE, AND SHALL REMAIN, THE PROPERTY OF 168CAD NO PART SHALL BE COPIED, REPRODUCED OR OTHERWISE USED, DIRECTLY OR INDIRECTLY, IN WHOLE OR IN PART, IN CONNECTION WITH ANY OTHER WORK OR PROJECT WITHOUT THE WRITTEN CONSENT OF 168CAD VISUAL CONTACT WITH THESE DRAWINGS AND/OR SPECIFICATIONS SHALL CONSTITUTE A PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

SHEET TITLE

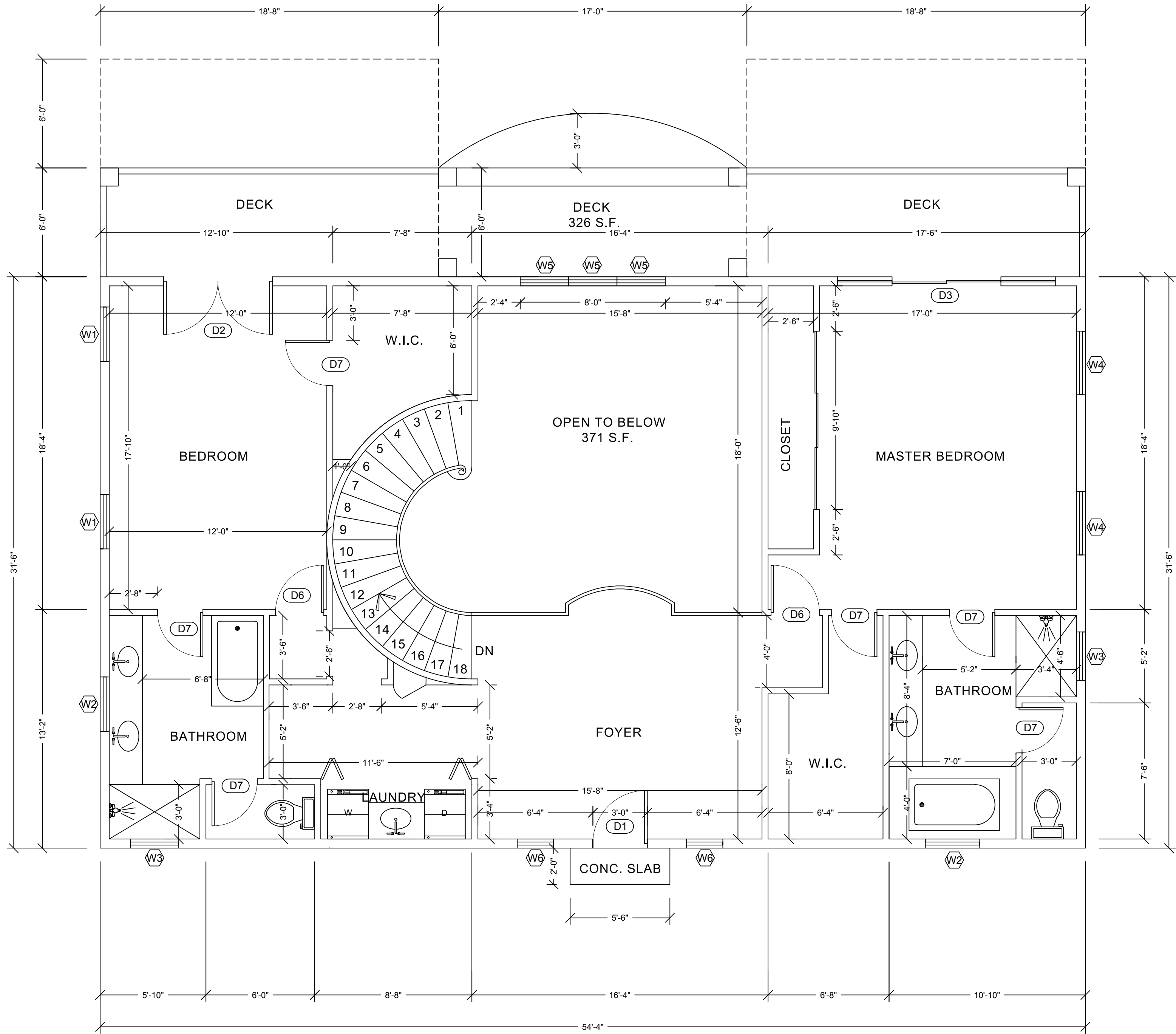
FLOOR PLAN

PROJECT NAME & ADDRESS

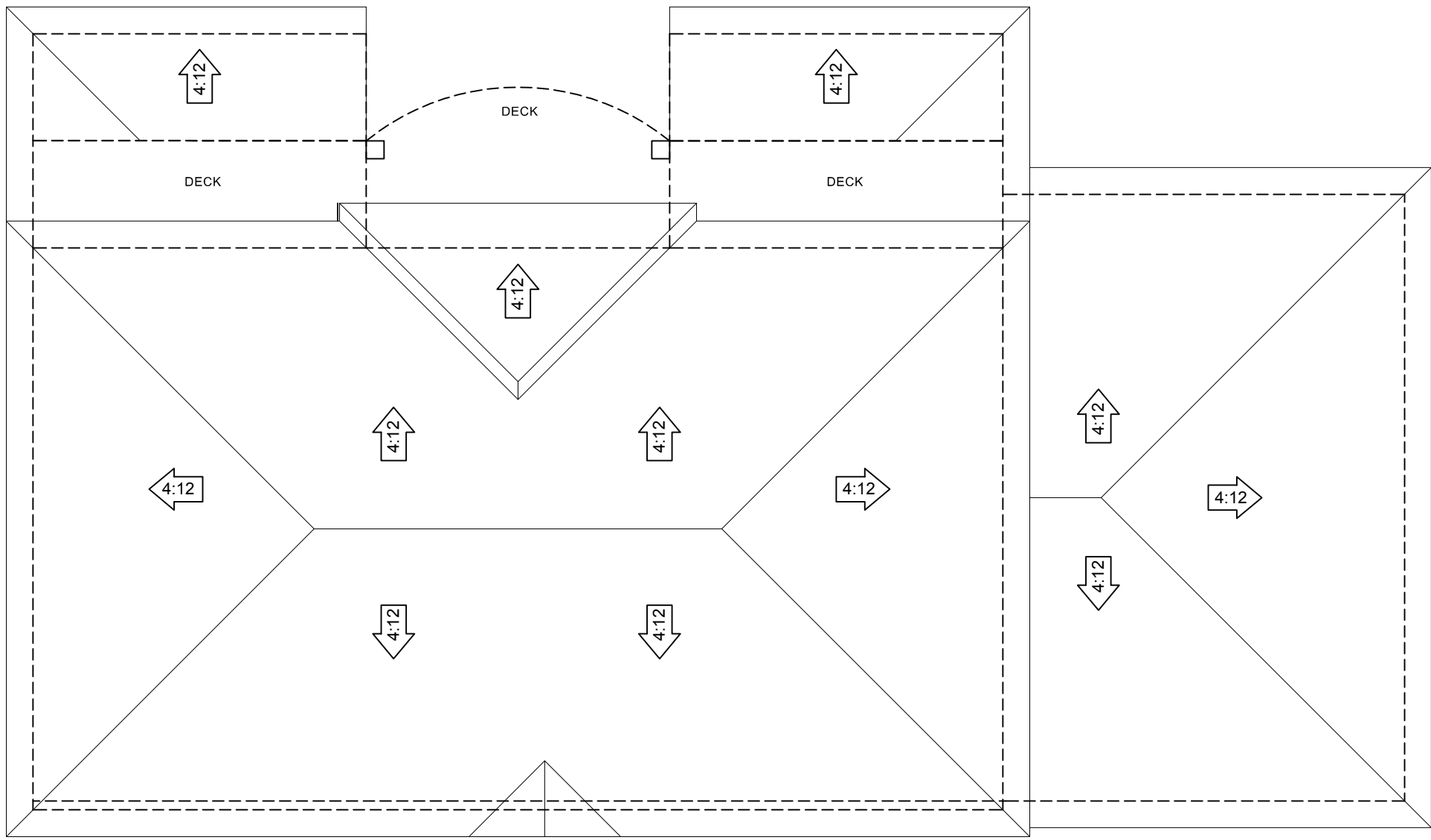
NEW RESIDENCE

3465 TURNBULL CANYON RD
HACIENDA HEIGHTS,CA.91745

Date	08/30/21
Drawn	ALAN
C	Sheet
	A-2 of Sheet



UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'- 0"



ROOF PLAN
—> PITCH 4:12 SCALE: 1/8" = 1'- 0"


REVISIONS	
DATE	NO.
	1

THESE DRAWINGS AND SPECIFICATIONS, IDEAS, DESIGNS AND ARRANGEMENTS ARE, AND SHALL REMAIN, THE PROPERTY OF 168CAD NO PART SHALL BE COPIED, REPRODUCED OR OTHERWISE USED, DIRECTLY OR INDIRECTLY, IN WHOLE OR IN PART, IN CONNECTION WITH ANY OTHER WORK OR PROJECT WITHOUT THE WRITTEN CONSENT OF 168CAD VISUAL CONTACT WITH THESE DRAWINGS AND/OR SPECIFICATIONS SHALL CONSTITUTE A PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

SHEET TITLE
FLOOR PLAN
ROOF PLAN

PROJECT NAME & ADDRESS
NEW RESIDENCE
3465 TURNBULL CANYON RD
HACIENDA HEIGHTS,CA.91745

Date	08/30/21
Drawn	ALAN
Sheet	A-3
	of Sheet

REVISIONS	
DATE	NO.
	

THESE DRAWINGS AND SPECIFICATIONS, IDEAS, DESIGNS AND ARRANGEMENTS ARE, AND SHALL REMAIN, THE PROPERTY OF 168CAD NO PART SHALL BE COPIED, REPRODUCED OR OTHERWISE USED, DIRECTLY OR INDIRECTLY, IN WHOLE OR IN PART, IN CONNECTION WITH ANY OTHER WORK OR PROJECT WITHOUT THE WRITTEN CONSENT OF 168CAD VISUAL CONTACT WITH THESE DRAWINGS AND/OR SPECIFICATIONS SHALL CONSTITUTE A PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

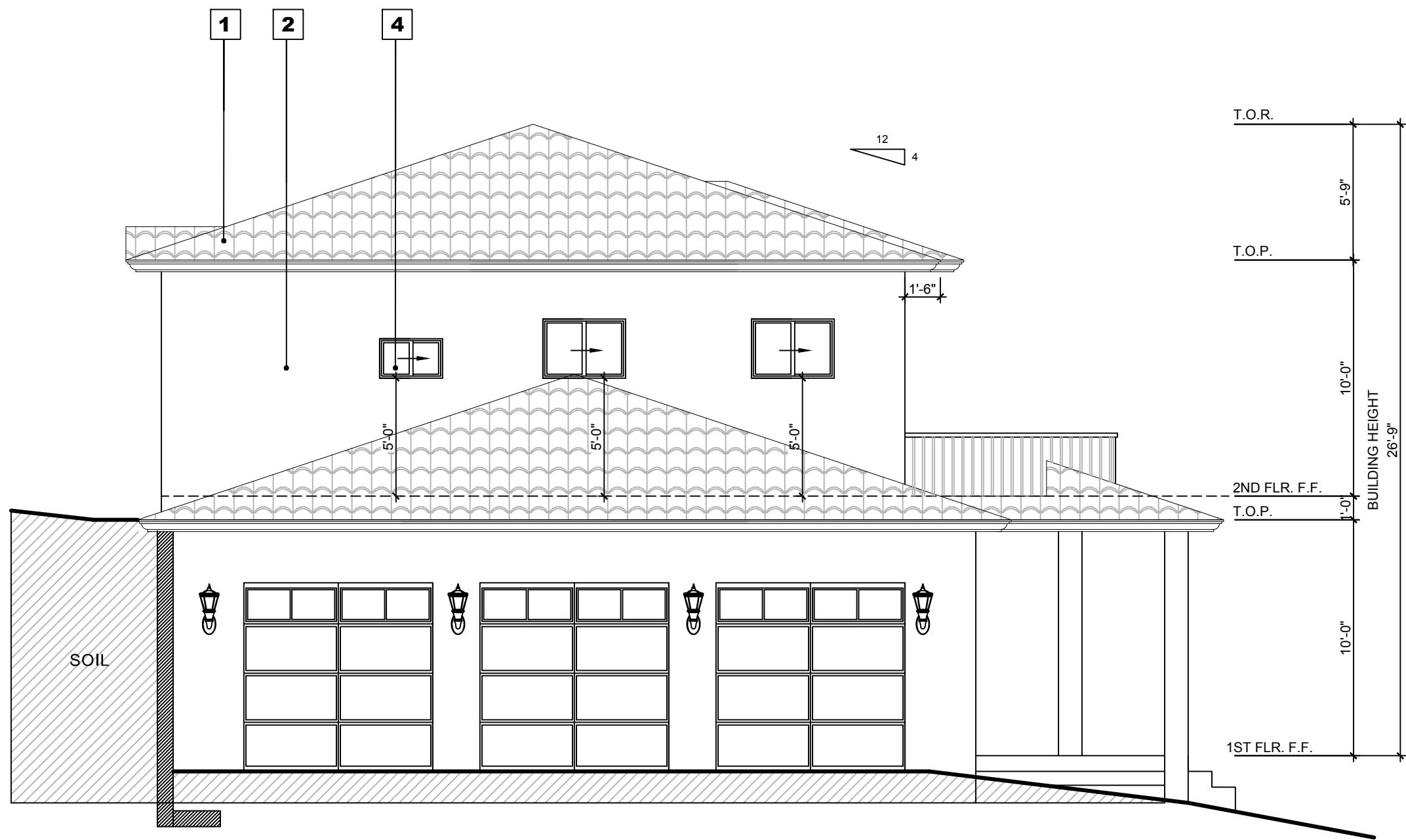
SHEET TITLE
ELEVATION

PROJECT NAME & ADDRESS
NEW RESIDENCE
3465 TURNBULL CANYON RD
HACIENDA HEIGHTS,CA.91745

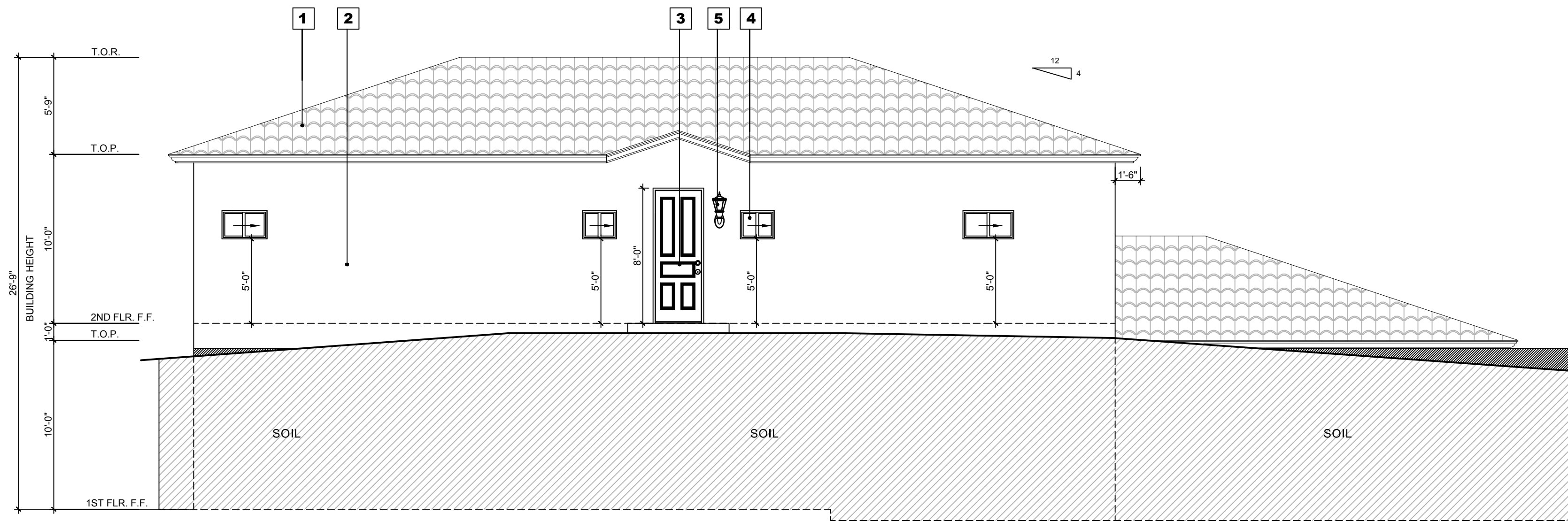
Date	08/30/21
Drawn	ALAN
Sheet	A-4
C of	Sheet



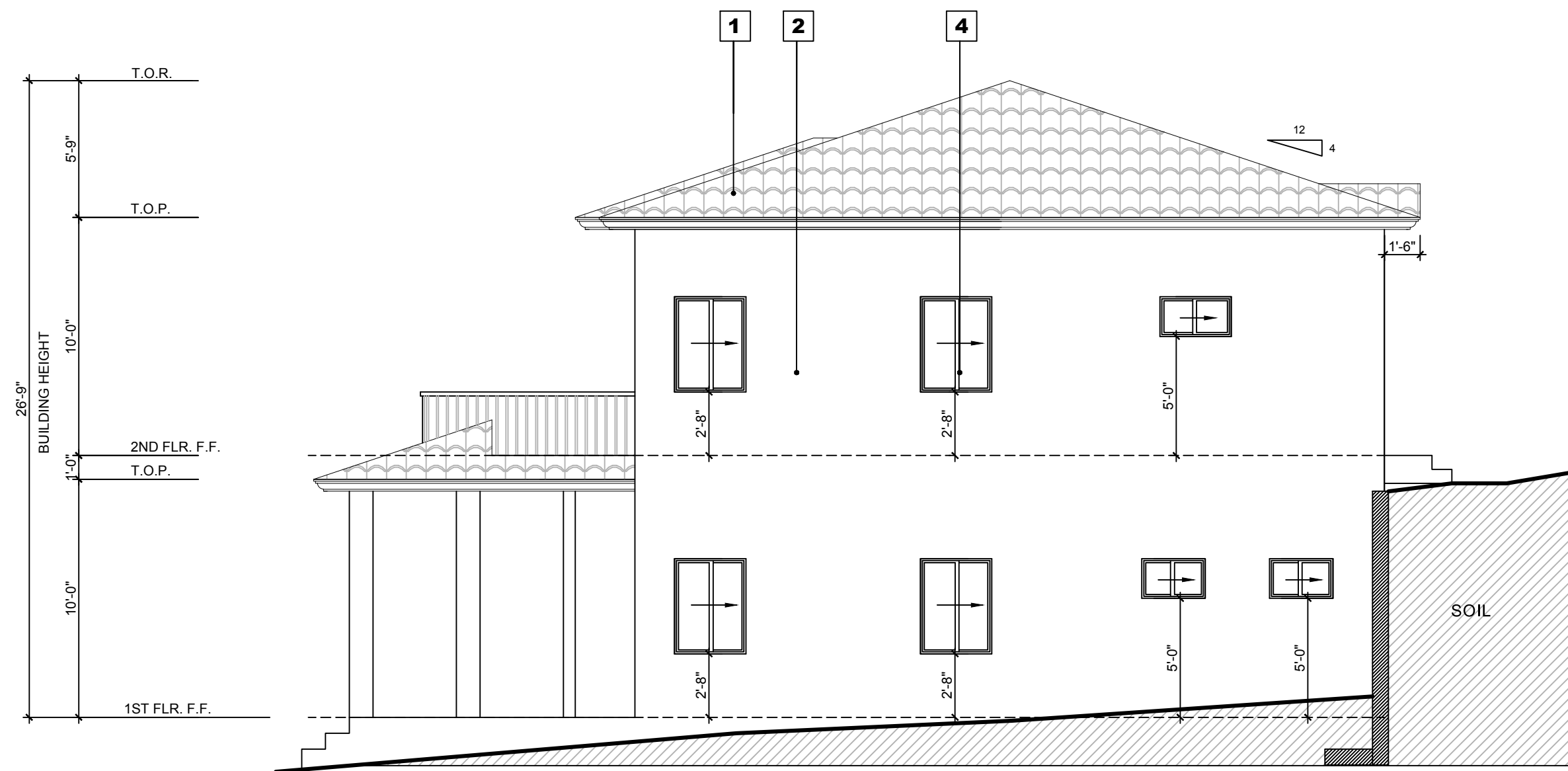
NORTH ELEVATION
SCALE: 3/16 " = 1'- 0"



EAST ELEVATION
SCALE: 3/16 " = 1'- 0"



SOUTH ELEVATION
SCALE: 3/16 " = 1'- 0"



WEST ELEVATION
SCALE: 3/16 " = 1'- 0"

ELEVATION SPECIFICATIONS

- 1 CONCRETE ROOF TILE, BRAND EAGLE, ICC-ES ESR-1900 STYLE
- 2 EXTERIOR WALL STUCCO, BRAND OMAGE, ICC# ESR-2671
- 3 NEW DOORS
- 4 NEW WINDOWS
- 5 EXTERIOR WALL LIGHT

PROJECT SUMMARY

OWNER / APPLICANT

Edward Huang

MAP/EXHIBIT DATE

12/12/2021

PROJECT OVERVIEW

Encroachment into the protected zone of 16 non-heritage oak trees in conjunction with the construction of a new Single-Family Residence on a currently vacant lot

LOCATION

3465 Turnbull Canyon Rd., Hacienda heights, CA

ACCESS

Turnbull Canyon Rd

ASSESSORS PARCEL NUMBER(S)

8221-040-003

SITE AREA

1.28 Acres

GENERAL PLAN / LOCAL PLAN

Hacienda Heights Community Plan

ZONED DISTRICT

Hacienda Heights

LAND USE DESIGNATION

RL10 (Rural Land 10)

ZONE

A-1-1 (Light Agricultural - One Acre Required Minimum Lot Area)

PROPOSED UNITS

1

MAX DENSITY/UNITS

1 per 10 gross acres

COMMUNITY STANDARDS DISTRICT

None

ENVIRONMENTAL DETERMINATION (CEQA)

Class 3 Categorical Exemption – New Construction or Conversion of Small Structures

Class 4 Categorical Exemption – Minor Alterations to Land

KEY ISSUES

- Consistency with the Los Angeles County General Plan and Hacienda Heights Community Plan
- Satisfaction of the following portions of Title 22 of the Los Angeles County Code:
 - Section 22.174.060 (Oak Tree Permit Findings and Decision Requirements)
 - Section 22.16.050 (Development Standards for A-1 and A-2)

CASE PLANNER:

Carl Vincent Nadela

PHONE NUMBER:

(213) 974 - 6411

E-MAIL ADDRESS:

cnadela@planning.lacounty.gov

LOS ANGELES COUNTY
DEPARTMENT OF REGIONAL PLANNING

FINDINGS OF THE HEARING OFFICER
AND ORDER
OAK TREE PERMIT NO. RPPL2015000323

RECITALS

1. **HEARING DATE(S).** The Los Angeles County ("County") Hearing Officer conducted a duly-noticed public hearing in the matter of Oak Tree Permit ("OTP") No. RPPL2015000323 on July 19, 2022.
2. **ENTITLEMENT(S) REQUESTED.** The permittee, Edward Huang ("permittee"), requests the OTP to authorize the encroachment into the protected zone of 16 non-heritage oak trees in conjunction with the construction of a new single-family residence ("SFR") ("Project") on a property located at 14350 E. Oak Canyon Drive in the unincorporated community of Hacienda Heights ("Project Site") in the A-1-1 (Light Agricultural – One Acre Minimum Required Lot Area) zone pursuant to Los Angeles County Code ("County Code") Section 22.174.030 (Oak Tree Permits Applicability).
3. **LAND USE DESIGNATION.** The Project Site is located within the RL10 (Rural Lands 10 – Maximum 1 du/1 gross ac) land use category of the Hacienda Heights Community Plan ("Community Plan") Land Use Policy Map, a component of the General Plan.
4. **ZONING.** The Project Site is located in the Hacienda Heights Zoned District and is currently zoned A-1-1. Pursuant to County Code Section 22.174.030 (Oak Tree Permits Applicability), an OTP is required for the encroachment into the protected zone of 16 non-heritage oak trees at the Project Site.
5. **PROJECT AND SITE PLAN DESCRIPTION.**

A. Existing Site Conditions

The Project Site is 1.28 gross acres in size and consists of one legal lot. The Project Site is irregular in shape with steep topography and is currently vacant. There are 40 non-heritage oak trees identified at or near the site.

B. Site Access

The Project Site is accessible via Turnbull Canyon Road, a 50-foot-wide public street, to the south. Primary access to the Project Site will be via an entrance/exit driveway off Turnbull Canyon Road.

C. Site Plan

The site plan depicts the Project Site with the proposed encroachments in conjunction with the construction of a new three-story 3,024-square-foot SFR located in the western portion of the property. An attached 765-square-foot three-car garage is proposed on the eastern portion of the structure. An existing fire lane and access road that provides access to the site as well as to nearby properties to the northwest of the property is also depicted. A driveway connects the garage to the access road. A total of 40 non-heritage oak trees are identified on-site and just outside of the property's boundaries. An Oak Woodland Preserved Area is also depicted on a separate plan, pursuant to the provisions of the Los Angeles County Oak Woodland Management Plan. Fuel Modification Zones are also identified on another plan.

D. Parking

Three parking spaces are provided in an attached three-car garage located on the western portion of the proposed SFR.

6. COMMUNITY OUTREACH. On May 24, 2022, prior to the Hearing Officer's public hearing on the Project, Staff reached out to the President of the Hacienda Heights Improvement Association (HHIA) via email with attached Project information for any comments from the Board members regarding the Project.

7. PUBLIC COMMENTS.

Staff has not received any comments from the public at this time.

8. AGENCY RECOMMENDATIONS.

A letter from the County Fire Department, Forestry Division, dated April 20, 2022, indicates that the Oak Tree Report is accurate and complete as to the location, size, condition, and species of the oak trees on the site. Recommended conditions were attached and have been included in the Project's conditions.

9. CEQA DETERMINATION. Planning staff determined that the Project qualified for a Class 3, New Construction or Conversion of Small Structures; and Class 4, Minor Alterations to Land, categorical exemptions from the California Environmental Quality Act (Public Resources Code section 21000, et seq.) ("CEQA"), the State CEQA Guidelines, and the Environmental Document Reporting Procedures and Guidelines for the County, because the Project involves the encroachment into the protected zones of 16 non-heritage oak trees in conjunction with the construction of a new 3,024-square-foot SFR at a currently vacant lot. The Project Site is not in an environmentally sensitive area nor is it in a designated historic district. Parts of the Project Site have clusters of Oak Trees, which are technically Oak Woodlands. However, only a limited part of the development is proposed there and there are minimal Project impacts in those areas and therefore no significant or cumulative

impacts will occur. Because of the above circumstances, there are no exceptions to the proposed exemptions and thus, the exemptions still apply to the Project.

GENERAL PLAN CONSISTENCY FINDINGS

10. LAND USE POLICY. The Hearing Officer finds that the Project is consistent with the goals and policies of the Community Plan because the RL10 land use designation is intended for single-family residential development at a maximum density of one dwelling unit per 10 acres; and for rural, equestrian, agricultural and other related activities, and local serving, ancillary commercial uses. This designation aims to provide lands suitable for agricultural production, preserve areas of significant natural and scenic resources; and limit intensive development, especially in areas subject to natural hazards or lacking in essential services and infrastructure. The oak tree encroachments associated with the proposed 3,024-square-foot SFR at the 1.28-acre lot, which has been designed to preserve in place all of the 40 oak trees at or near the site, are consistent with this designation.
11. GOALS AND POLICIES. The Hearing Officer finds that the Project is consistent with the goals and policies of the General Plan and Community Plan.

The following policies of the General Plan are applicable to the proposed Project:

- *Policy LU 4.1: Encourage infill development in urban and suburban areas on vacant, underutilized, and/or brownfield sites.*
- *Policy LU 5.1: Encourage a mix of residential land use designations and development regulations that accommodate various densities, building types and styles.*
- *Policy LU 10.12: Discourage gated entry subdivisions ("gated communities") to improve neighborhood access and circulation, improve emergency access, and encourage social cohesion.*

The oak tree encroachments associated with the development of a new SFR at the currently vacant Project Site supports the General Plan's policy of infill development in urban and suburban areas. The SFR also helps provide a variety of residential units with different design types in the area as most properties in the vicinity are vacant and under-utilized. This provides more housing units in an area that is already served by all the utilities and facilities required for residential use. The Project's architectural design is also specifically suited for the site's steep topography. The Project Site is not within a gated community and supports the General Plan's policy of encouraging open access to residential communities.

The following policies of the Community Plan are applicable to the proposed Project:

- *Policy LU 1.1: Protect the character of existing single-family neighborhoods.*
- *Policy A 4.2: Promote the installation of shade trees, non-invasive landscaping or other natural elements, including, but not limited to decorative rock, along public rights-of-way and medians.*

The Project Site is located in a low-density residential neighborhood. The oak tree encroachments associated with the proposed 3,024-square-foot SFR at the 1.28-acre site is consistent with this neighborhood character. The Project also includes on-site mitigation and restoration areas that will install non-invasive landscaping and restore the area to its natural state to help encourage the health of the oak woodlands on the Project Site.

ZONING CODE CONSISTENCY FINDINGS

12. **PERMITTED USE IN ZONE.** The Hearing Officer finds that the Project is consistent with the A-1-1 zoning classification as the encroachment of oak trees is associated with a SFR that is permitted in such zone with a Site Plan Review (“SPR”) pursuant to County Code Section 22.16.030 (Land Use Regulations for Zone A-1). The construction of the SFR will be reviewed separately through SPR RPPL2016000644 and cannot be approved without approval of this OTP request.
13. **REQUIRED YARDS.** The Hearing Officer finds that the Project is consistent with the standards identified in County Code Section 22.16.050.A (Required Yards). While the proposed Project is a request for the encroachment of non-heritage oak trees, the associated SFR proposes to have front, rear and north and south side yards of 190-plus feet, 18 feet, 96 feet, and 59 feet and five inches, respectively, in compliance with the required front, rear and side yards of 20 feet, 15 feet, and 5 feet respectively as per the provisions of Title 22 of the County Code. Compliance with required yards will ultimately be confirmed through the separate approval of the associated SPR.
14. **HEIGHT.** The Hearing Officer finds that the Project is consistent with the standard identified in County Code Section 22.16.050.B (Maximum Height). While the proposed Project is a request for the encroachment of non-heritage oak trees, the associated SFR proposes a maximum height of 26 feet and nine inches, in compliance with the maximum height of 35 feet as per the provisions of Title 22 of the County Code.
15. **PARKING.** The Hearing Officer finds that the Project is consistent with the standard identified in County Code Section 22.112.070 (Required Parking Spaces). While the proposed Project is a request for the encroachment of non-heritage oak trees, the associated SFR proposes to provide three covered parking spaces in an attached three-car garage, in compliance with the required two covered parking spaces for a SFR, as per the provisions of Title 22 of the County Code.

OAK TREE PERMIT FINDINGS

16. The Hearing Officer finds that the proposed construction or proposed use will be accomplished without endangering the health of the remaining oak trees subject to Title 22 regulations, if any, on the subject property. As per the Oak Tree Report prepared by Alison Lancaster, Consulting Arborist, dated January 3, 2022 and an Addendum dated June 20, 2022, the proposed Project has been designed to minimize and mitigate harm to the remaining oak trees on the property to the greatest extent feasible. The proposed SFR is located in an area that is relatively clear of oak trees, which has minimized the impacts on the remaining oak trees at the Project Site.
17. The Hearing Officer finds that the removal or relocation of the oak trees proposed will not result in soil erosion through the diversion or increased flow of surface waters which cannot be satisfactorily mitigated. The proposed Project will not result in the removal of any oak trees. The development of the SFR and driveway will include measures to mitigate any soil erosion and manage the flow of surface waters at the Project Site.
18. The Hearing Officer finds that the removal or relocation of the oak trees proposed is necessary as continued existence at present locations frustrates the planned improvement or proposed use of the subject property to such an extent that placement of such trees precludes the reasonable and efficient use of such property for a use otherwise authorized. The proposed Project does not result in the removal of any Oak Trees. The encroachments into non-heritage Oak Trees No. 1, 7, 9, 12, 13, 17, 18, 19, 21, 24, 25, 26, 27, 28, 29 and OTP219, as identified by the Oak Tree Plan, were unavoidable in order for the permittee to make reasonable use of the privately-owned lot since these trees were located in the part of the Project Site that was the most developable. The placement and design of the proposed SFR have minimized the impacts to the existing oak trees at the Project Site to the greatest extent feasible, thus resulting in no removals and only 16 encroachments out of the more than 40 oak trees located at or near the Project Site.
19. The Hearing Officer finds that the removal of the oak trees proposed will not be contrary to or be in substantial conflict with the intent and purpose of the Oak Tree Permit procedure. The proposed Project has been designed to minimize and mitigate harm to the oak trees at the Project Site to the greatest extent feasible. Of the 40 oak trees on site, none has been identified for removal and only 16 were identified for encroachment. The encroachments into Oak Trees No. 1, 7, 9, 12, 13, 17, 18, 19, 21, 24, 25, 26, 27, 28, 29 and OTP219, as identified by the Oak Tree Plan, were unavoidable in order for the permittee to make reasonable use of the privately-owned lot since these trees were located in the part of the Project Site that was the most developable. Thus, these encroachments are consistent with the provisions of the County Code.

ENVIRONMENTAL FINDINGS

20. The Hearing Officer finds that the Project is exempt from the California Environmental Quality Act pursuant to State CEQA Guidelines sections 15303 (Class 3, New Construction or Conversion of Small Structures categorical exemption) and 15304 (Class 4, Minor Alterations to Land categorical exemption). The Project involves the encroachment into the protected zone of 16 non-heritage oak trees in conjunction with the construction of a new SFR on a currently vacant site. The Project Site is not in an environmentally sensitive area nor is it in a designated historic district. Parts of the Project Site have clusters of Oak Trees, which are technically Oak Woodlands. However, very limited development is proposed and there are minimal Project impacts in that area and therefore no significant or cumulative impacts. Because of these, there are no exceptions to the proposed exemption and thus, the exemption still applies to the Project.

ADMINISTRATIVE FINDINGS

21. HEARING PROCEEDINGS.

Reserved.

22. LEGAL NOTIFICATION. The Hearing Officer finds that pursuant to Section 22.222.120 (Public Hearing Procedure) of the County Code, the community was properly notified of the public hearing by newspaper (San Gabriel Valley Tribune). Additionally, case materials were available on Regional Planning's website. On June 16, 2022, a total of 16 Notices of Public Hearing were mailed to those on the courtesy mailing list for the Hacienda Heights Zoned District and Oak Tree Permits, as well as to any additional interested parties.

23. LOCATION OF DOCUMENTS. The location of the documents and other materials constituting the record of proceedings upon which the Hearing Officer's decision is based in this matter is at LA County Planning, 13th Floor, Hall of Records, 320 West Temple Street, Los Angeles, California 90012. The custodian of such documents and materials shall be the Section Head of the Puente Whittier Development Services Section, LA County Planning.

BASED ON THE FOREGOING, THE HEARING OFFICER CONCLUDES THAT:

- A. The proposed Project will be accomplished without endangering the health of the remaining trees subject to Chapter 22.174 (Oak Tree Permits) of the County Code on the subject property;
- B. The proposed encroachments into the protected zone of the oak trees will not result in soil erosion through the diversion of increased flow of surface waters which cannot be satisfactorily mitigated;

OAK TREE PERMIT NO. RPPL2015000323

- C. The proposed encroachments into the protected zone of the oak trees are necessary as continued existence at present locations frustrates the planned development and proposed use of the subject property to such an extent that placement of such trees precludes the reasonable and efficient use of such property for a use otherwise authorized; and
- D. The proposed encroachments into the protected zone of the oak trees will not be contrary to or be in substantial conflict with the intent and purpose of the oak tree permit procedure.

THEREFORE, THE HEARING OFFICER:

- 1. Finds that the Project is exempt from the California Environmental Quality Act pursuant to State CEQA Guidelines sections 15303 (Class 3, New Construction or Conversion of Small Structures categorical exemption) and 15304 (Class 4, Minor Alterations to Land categorical exemption) and there are no exceptions to the exemptions; and
- 2. Approves OAK TREE PERMIT NO. RPPL2015000323, subject to the attached conditions.

ACTION DATE: July 19, 2022

**MM:CN
5/9/2022**

**LOS ANGELES COUNTY
DEPARTMENT OF REGIONAL PLANNING**

**CONDITIONS OF APPROVAL
OAK TREE PERMIT NO. RPPL2015000323**

PROJECT DESCRIPTION

The project is the proposed encroachment into the protected zone of 16 non-heritage oak trees in conjunction with the construction of a new single-family residence ("SFR") at a currently vacant lot subject to the following conditions of approval:

GENERAL CONDITIONS

1. Unless otherwise apparent from the context, the term "permittee" shall include the applicant, owner of the property, and any other person, corporation, or other entity making use of this grant.
2. This grant shall not be effective for any purpose until the permittee, and the owner of the subject property if other than the permittee, have filed at the office of the Los Angeles County ("County") Department of Regional Planning ("LA County Planning") their affidavit stating that they are aware of and agree to accept all of the conditions of this grant. Notwithstanding the foregoing, this Condition No. 2 and Condition Nos. 3, 4, and 7 shall be effective pursuant to Section 22.222.230 of the County Code.
3. The permittee shall defend, indemnify, and hold harmless the County, its agents, officers, and employees from any claim, action, or proceeding against the County or its agents, officers, or employees to attack, set aside, void, or annul this permit approval, which action is brought within the applicable time period of Government Code section 65009 or any other applicable limitations period. The County shall promptly notify the permittee of any claim, action, or proceeding and the County shall reasonably cooperate in the defense. If the County fails to promptly notify the permittee of any claim, action, or proceeding, or if the County fails to cooperate reasonably in the defense, the permittee shall not thereafter be responsible to defend, indemnify, or hold harmless the County.
4. In the event that any claim, action, or proceeding as described above is filed against the County, the permittee shall within ten days of the filing make an initial deposit with LA County Planning in the amount of up to \$5,000.00, from which actual costs and expenses shall be billed and deducted for the purpose of defraying the costs or expenses involved in LA County Planning's cooperation in the defense, including but not limited to, depositions, testimony, and other assistance provided to permittee or permittee's counsel.

If during the litigation process, actual costs or expenses incurred reach 80 percent of the amount on deposit, the permittee shall deposit additional funds sufficient to bring the balance up to the amount of \$5,000.00. There is no limit to the number of supplemental deposits that may be required prior to completion of the litigation.

At the sole discretion of the permittee, the amount of an initial or any supplemental deposit may exceed the minimum amounts defined herein. Additionally, the cost for collection and duplication of records and other related documents shall be paid by the permittee according to County Code Section 2.170.010.

5. If any material provision of this grant is held or declared to be invalid by a court of competent jurisdiction, the permit shall be void and the privileges granted hereunder shall lapse.
6. Upon any transfer or lease of the property during the term of this grant, the permittee, or the owner of the subject property if other than the permittee, shall promptly provide a copy of the grant and its conditions to the transferee or lessee of the subject property.
7. This grant shall expire unless used within two (2) years from the date of final approval of the grant. A single one-year time extension may be requested in writing and with the payment of the applicable fee prior to such expiration date.
8. The subject property shall be maintained and operated in full compliance with the conditions of this grant and any law, statute, ordinance, or other regulation applicable to any development or activity on the subject property. Failure of the permittee to cease any development or activity not in full compliance shall be a violation of these conditions. No provision of any easement of any other encumbrance on the property shall exempt the permittee and/or property owner from compliance with these conditions and applicable regulations. Inspections shall be made to ensure compliance with the conditions of this grant as well as to ensure that any development undertaken on the subject property is in accordance with the approved site plan on file. The permittee shall deposit with the County the sum **\$600.00**, which shall be placed in a performance fund and be used exclusively to reimburse LA County Planning for all expenses incurred while inspecting the premises to determine the permittee's compliance with the conditions of this grant. The fund provides for **three (3)** inspections. Inspections may be unannounced and may be conducted utilizing any available technologies, including, but not limited to, unmanned aircraft systems (UAS).

If additional inspections are required to ensure compliance with the conditions of this grant, or if any inspection discloses that the subject property is being used in violation of any one of the conditions of this grant, the permittee shall be financially responsible and shall reimburse LA County Planning for all additional enforcement efforts necessary to bring the subject property into compliance. The amount charged for additional inspections shall be \$200.00 per inspection, or the current recovery cost established by LA County Planning at the time any additional inspections are required, whichever is greater.

9. Notice is hereby given that any person violating a provision of this grant is guilty of a misdemeanor. Notice is further given that the Regional Planning Commission ("Commission") or a Hearing Officer may, after conducting a public hearing, revoke or modify this grant, if the Commission or Hearing Officer finds that these conditions have been violated or that this grant has been exercised so as to be detrimental to the public's health or safety or so as to be a nuisance, or as otherwise authorized pursuant to Chapter 22.238 of the County Code.
10. All development pursuant to this grant must be kept in full compliance with the County Fire Code to the satisfaction of the County Fire Department ("County Fire").
11. All development pursuant to this grant shall conform with the requirements of the County Department of Public Works to the satisfaction of said department.
12. All development pursuant to this grant shall comply with the requirements of Title 22 of the County Code and of the specific zoning of the subject property, unless specifically modified by this grant, as set forth in these conditions, including the approved Exhibit "A," or a revised Exhibit "A" approved by the Director of LA County Planning ("Director").
13. The permittee shall maintain the subject property in a neat and orderly fashion. The permittee shall maintain free of litter all areas of the premises over which the permittee has control.
14. All structures, walls and fences open to public view shall remain free of graffiti or other extraneous markings, drawings, or signage that was not approved by LA County Planning. These shall include any of the above that do not directly relate to the business being operated on the premises or that do not provide pertinent information about said premises. The only exceptions shall be seasonal decorations or signage provided under the auspices of a civic or non-profit organization.

In the event of graffiti or other extraneous markings occurring, the permittee shall remove or cover said markings, drawings, or signage within 48 hours of such notification, weather permitting. Paint utilized in covering such markings shall be of a color that matches, as closely as possible, the color of the adjacent surfaces.

PERMIT-SPECIFIC CONDITIONS – OAK TREE PERMIT

15. Within 90 days of final approval of the permit, all non-graded portions of the subject property outside of Fuel-modification Zone A shall be deed restricted against further development in order to preserve remaining areas of oak woodland on the site. Allowable activities within the deed-restricted area shall include brush thinning as required by County Fire for protection of the residence, focusing on removal of invasive non-native vegetation (including but not limited to Cape ivy (*Delairea odorata*), sweet fennel (*Foeniculum vulgare*), and common horehound (*Marrubium vulgare*). As County Fire requirements allow, the oak woodland understory shall be planted with native oak woodland understory species at an appropriate spacing for

Fuel-modification Zones B and C. (including but not limited to southern bush monkeyflower (*Diplacus longiflorus*), giant wildrye (*Elymus condensatus*), chilicothe (*Marah macrocarpa*), fiestaflower (*Pholistoma auritum*), and blue elderberry (*Sambucus nigra* ssp. *caerulea*).

16. A landscaping plan / restoration plan shall be submitted for approval by the LA County Planning prior to issuance of grading permits. The plan shall indicate the type and placement of all vegetation to be planted or removed from the property. Plantings within Fuel-modification Zone A may include non-native, non-invasive species. All plantings outside of Fuel-modification Zone A shall comprise native species only, as indicated in Condition 15.
17. The permittee shall comply with all conditions and requirements contained in the County Forester and Fire Warden, Forestry Division letter dated April 20, 2022 (attached hereto), to the satisfaction of said Division, except as otherwise required by said Division.
18. The permittee shall plant one healthy acorn of the same species of oak (*Quercus* sp.) as any tree that may die as a result of the encroachments for each mitigation tree planted. The acorns shall be planted at the same time as and within the watering zone of each mitigation tree.
19. All replacement trees that may be necessary shall be planted on native undisturbed soil and shall be the same species of oak (*Quercus* sp.) as a removed tree. A layer of humus and litter from beneath the canopy of the removed tree shall also be applied to the area beneath the canopies of the replacement trees to further promote the establishment of mycorrhizae within their rooting zones.
20. The location of the replacement trees shall be recorded with a GPS and plotted on an "As-built" plan, along with their decimal degree coordinates, to be submitted as a Revised Exhibit "A" to LA County Planning within 90 days of planting of the trees. Replacement trees shall be planted within the deed-restricted portion of the subject property, in the general vicinity of other oak trees of the same species. To document condition compliance, the site shall be inspected by LA County Planning personnel 7 years from the date of replacement tree planting. The As-built plan shall serve as a reference so that replacement trees may be easily located during the condition-compliance inspection.
21. If site constraints dictate that replacement trees must be planted on disturbed soil or not in the vicinity of the same species of oak (*Quercus* sp.) as the removed tree, planting shall incorporate a mycorrhizal product, either as amendment or in the first two irrigations or watering of planted trees (i.e. "mycorrhizaROOTS" or similar product) in accordance with the label's directions. A layer of humus and litter from beneath the canopy of the removed tree shall also be applied to the area beneath the canopies of the replacement trees to further promote the establishment of mycorrhizae within their rooting zones.

22. At the start of grading operations and throughout the entire period of development, no person shall perform any work for which an oak tree permit is required unless a copy of the oak tree report, location map, fencing plans, and approved oak tree permit and conditions are in the possession of a responsible person and also available at the site.
23. Perimeter fencing shall be post-in-concrete type of construction only. There shall be no continuous footings as part of the perimeter fencing design. The post-holes shall be no wider than 14 inches and shall be dug manually. While digging, if any roots measuring two inches in diameter or larger are encountered, the post-hole shall be moved to avoid the root.
24. The existing barbed wire fence located on the southern property line shall be removed prior to the issuance of an Occupancy Permit for the residence.

Attachments:

County Forester Letter dated April 20, 2022
Oak Trees: Care and Maintenance Guide



Los Angeles County Department of Regional Planning



Planning for the Challenges Ahead

OAK TREE PERMIT FINDINGS

Please identify the number of oak trees proposed for:

0 Removal 16 Encroachment 34 To Remain 34 Total existing oak trees

Pursuant to Section 22.174.060 (Findings and Conditions), the applicant shall substantiate the following:

(Do not repeat the statement or provide Yes/No responses. If necessary, attach additional pages.)

B.1 The proposed construction or proposed use will be accomplished without endangering the health of the remaining trees subject to Title 22 regulations, if any, on the subject property.

proposed construction will be accomplished without endangering the health of remaining 34 oak trees

B.2 The removal or relocation of the oak trees proposed will not result in soil erosion through the diversion or increased flow of surface waters which cannot be satisfactorily mitigated.

*No oak trees will be removed or relocated.
No soil erosion*

B.3 In addition to the above facts, at least one of the following findings apply:

- (a) That the removal or relocation of the oak trees proposed is necessary as continued existence at present locations frustrates the planned improvement or proposed use of the subject property to such an extent that:
 - i. Alternative development plans cannot achieve the same permitted density or that the cost of such alternative would be prohibitive, or
 - ii. Placement of such oak trees precludes the reasonable and efficient use of such property for a use otherwise authorized;
- b. That the oak trees proposed for removal or relocation interferes with utility services or streets and highways, either within or outside of the subject property, and no reasonable alternative to such interference exists other than removal of the trees; or
- c. That the condition of the oak trees proposed for removal with reference to seriously debilitating disease or danger of falling is such that it cannot be remedied through reasonable preservation procedures and practices.

No oak trees are scheduled to be removed.

16 oak trees will be encroached due to current improvements

B.4 The removal of the oak trees proposed will not be contrary to or be in substantial conflict with the intent and purpose of the Oak Tree Permit procedure.

N/A

No oak trees will be removed

Ed O'Hara 2-10-'22

PROPOSED ENVIRONMENTAL DETERMINATION

DETERMINATION DATE: July 7, 2022
PERMIT NUMBER(S): Oak Tree Permit RPPL2015000323
SUPERVISORIAL DISTRICT: 1
PROJECT LOCATION: 3465 Turnbull Canyon Rd., Hacienda Heights, CA
OWNER: Edward Huang
APPLICANT: Edward Huang
CASE PLANNER: Carl Vincent Nadela, AICP
cnadela@planning.lacounty.gov

Los Angeles County ("County") completed an initial review for the above-mentioned Project. Based on examination of the project proposal and the supporting information included in the application, the County proposes that an Exemption is the appropriate environmental documentation under the California Environmental Quality Act (CEQA). The project qualifies as Class 3 and 4 Categorical Exemptions under State CEQA Guidelines Sections 15303 and 15304. The Project is for the encroachment into the protected zone of 16 non-heritage oak trees in conjunction with the construction of a new single-family residence at a currently vacant lot. These are allowed development actions under this exemption.

The Project Site is not in an environmentally sensitive area nor is it in a designated historic district. Parts of the Project Site have clusters of Oak Trees, which are technically Oak Woodlands. However, only limited development is proposed and there are minimal Project impacts in those areas and therefore are not significant or cumulative. Because of these, there are no exceptions to the proposed exemption and thus, the exemption still applies to the Project.



AERIAL IMAGERY

SITE-SPECIFIC MAP

OTP RPPL2015000323

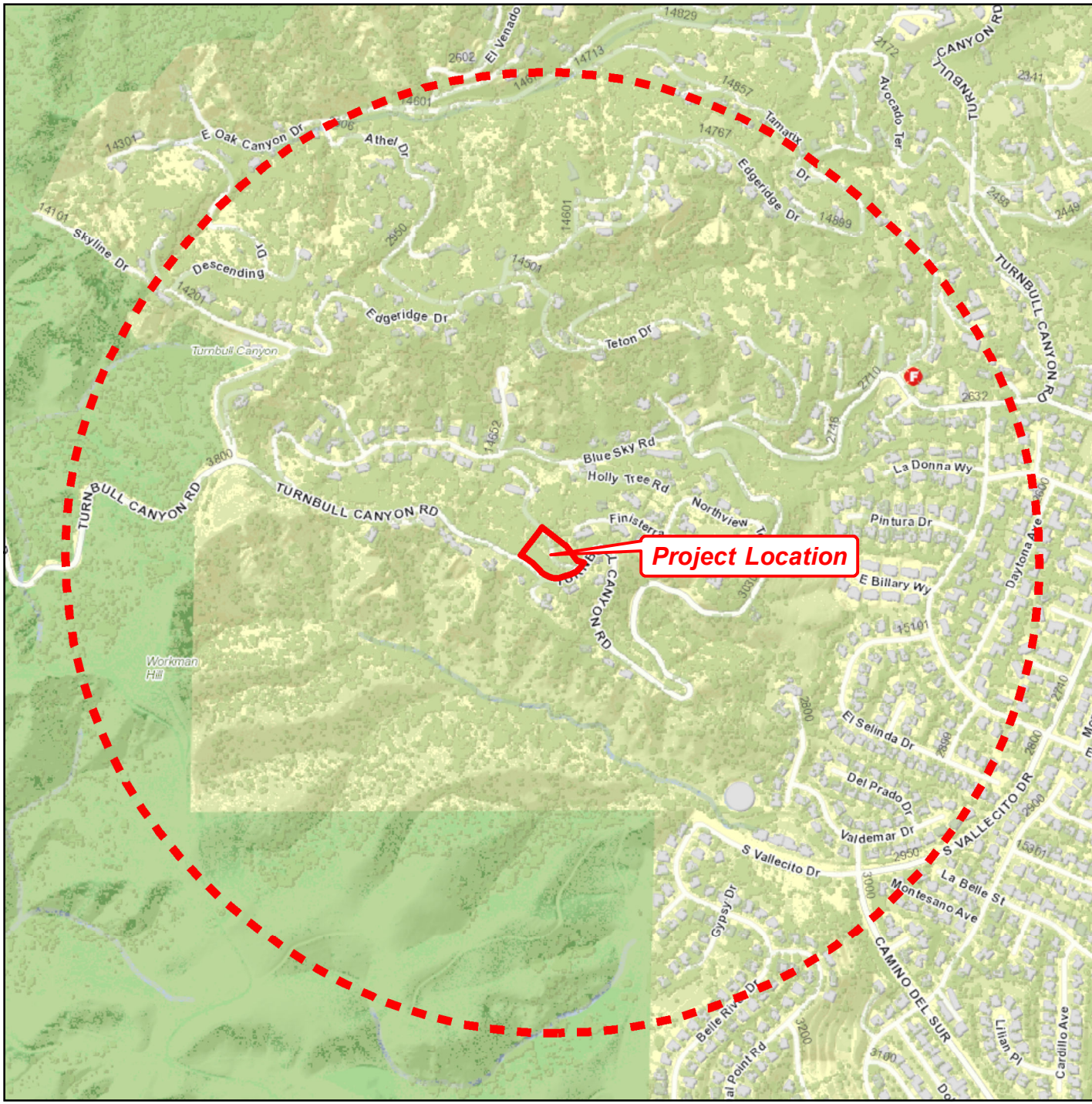
Digital Ortho Aerial Imagery:
Los Angeles Region Imagery
Acquisition Consortium (LARIAC)
2021

Feet
0 100



LA COUNTY
PLANNING

LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012



HALF-MILE RADIUS

LOCATOR MAP

OTP RPPL2015000323



Miles

0 0.25

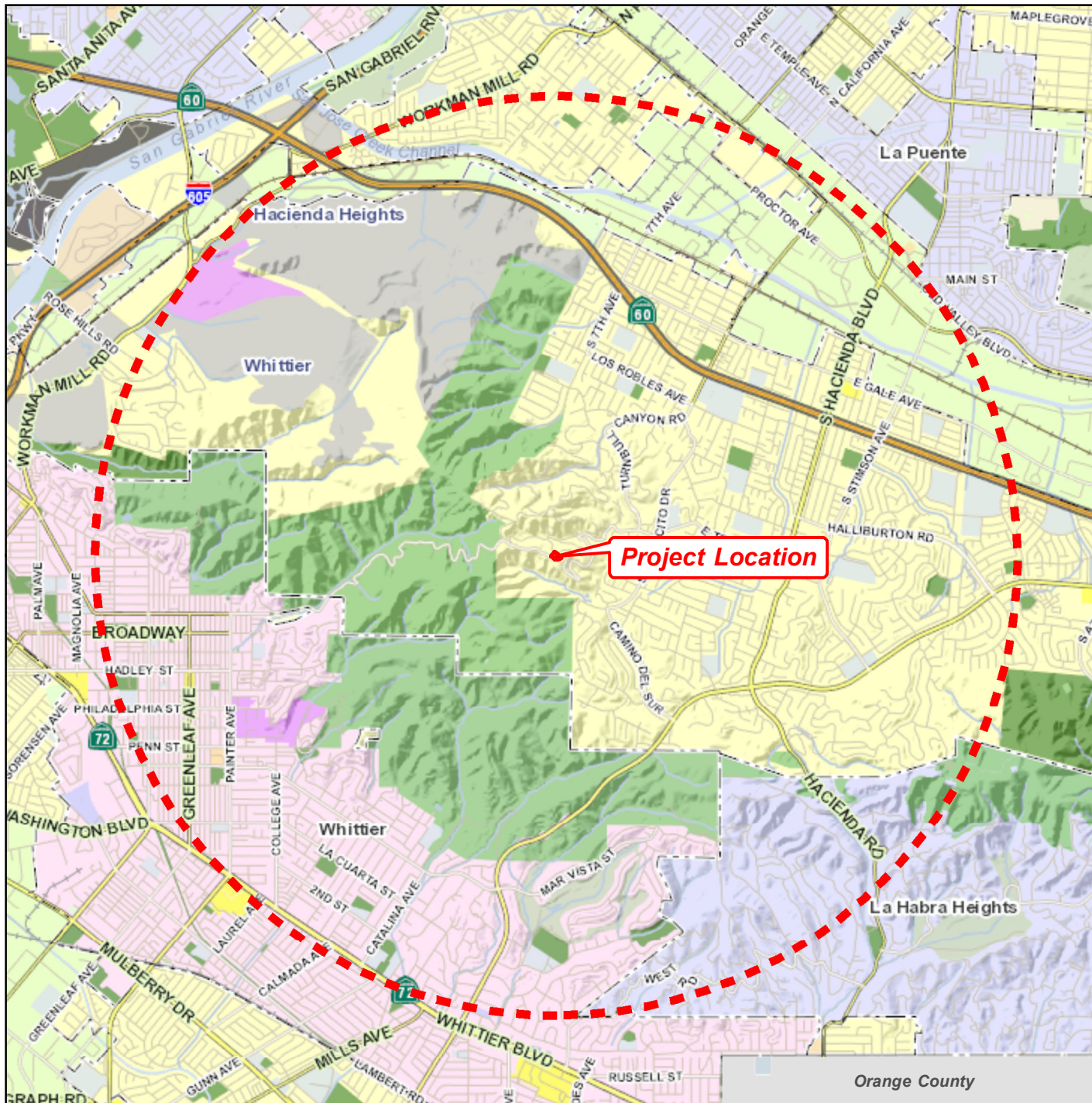
LA COUNTY
PLANNING

LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012

3-MILE RADIUS

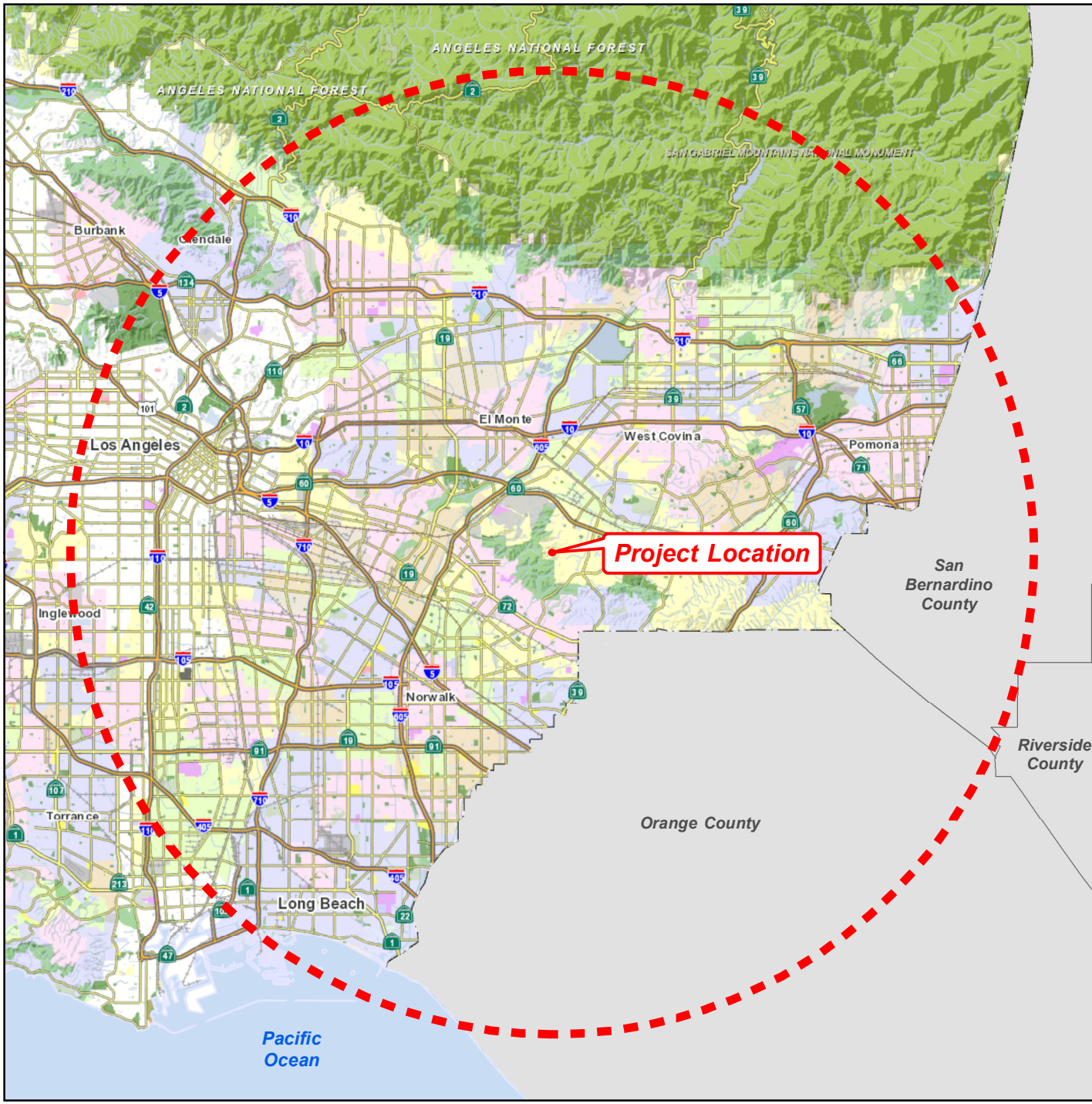
LOCATOR MAP

OTP RPPL2015000323



LA COUNTY
PLANNING

LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012



20-MILE RADIUS
LOCATOR MAP
OTP RPPL2015000323



Miles

0 5 10

LA COUNTY
PLANNING

LOS ANGELES COUNTY
Dept. of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012

Photographs for OTP RPPL2015000323

Looking West at Existing Fire Lane/Access Way (right) and proposed driveway location (left)



Looking West at proposed driveway location



Looking West at southern portion of building pad



Looking Northwest at northern portion of building pad



Looking East at Existing Fire Lane/Access Way (left) and proposed driveway location (right)





COUNTY OF LOS ANGELES FIRE DEPARTMENT

1320 NORTH EASTERN AVENUE
LOS ANGELES, CALIFORNIA 90063-3294
(323) 881-2426
www.fire.lacounty.gov

"Proud Protectors of Life, Property, and the Environment"

DARYL L. OSBY
FIRE CHIEF
FORESTER & FIRE WARDEN

BOARD OF SUPERVISORS

HILDA L. SOLIS
FIRST DISTRICT

MARK RIDLEY-THOMAS
SECOND DISTRICT

SHEILA KUEHL
THIRD DISTRICT

JANICE HAHN
FOURTH DISTRICT

KATHRYN BARGER
FIFTH DISTRICT

April 20, 2022

Carl Nadela, Planner
Department of Regional Planning
Zoning Permits Section
320 West Temple Street
Los Angeles, CA 90012

Dear Carl Nadela:

OAK TREE PERMIT NUMBER 2015000323 - REVISED 3465 TURNBULL CANYON RD, HACIENDA HEIGHTS

We have reviewed the "Request for Oak Tree Permit #2015000323." The project is located at 3465 Turnbull Canyon Rd in the unincorporated area of Hacienda Heights. The Oak Tree Report is accurate and complete as to the location, size, condition and species of the Oak trees on the site. The term "Oak Tree Report" refers to the document on file by Alison Lancaster, the consulting arborist, dated January 3, 2022.

We recommend the following as conditions of approval:

OAK TREE PERMIT REQUIREMENTS:

1. This grant shall not be effective until the permittee and the owner of the property involved (if other than the permittee), have filed at the office of the Department of Regional Planning their affidavit stating that they are aware of and agree to accept all conditions of this grant. Unless otherwise apparent from the context, the term "permittee" shall include the applicant and any other person, corporation or other entity making use of this grant.
2. The permittee shall, prior to commencement of the use authorized by this grant, deposit with the County of Los Angeles Fire Department a sum of \$300. Such fees shall be used to compensate the County Forester \$100 per inspection to cover expenses incurred while

SERVING THE UNINCORPORATED AREAS OF LOS ANGELES COUNTY AND THE CITIES OF:

AGOURA HILLS
ARTESIA
AZUSA
BALDWIN PARK
BELL
BELL GARDENS
BELLFLOWER
BRADBURY

CALABASAS
CARSON
CERRITOS
CLAREMONT
COMMERCE
COVINA
CUDAHY
DIAMOND BAR
DUARTE

EL MONTE
GARDENA
GLEN DORA
HAWAIIAN GARDENS
HAWTHORNE
HERMOSA BEACH
HIDDEN HILLS
HUNTINGTON PARK

INDUSTRY
INGLEWOOD
IRWINDALE
LA CANADA-FLINTRIDGE
LA HABRA
LA MIRADA
LA PUENTE
LAKEWOOD
LANCASTER

LAWNDALE
LOMITA
LYNWOOD
MALIBU
MAYWOOD
NORWALK
PALMDALE
PALOS VERDES ESTATES

PARAMOUNT
PICO RIVERA
POMONA
RANCHO PALOS VERDES
ROLLING HILLS
ROLLING HILLS ESTATES
ROSEMEAD
SAN DIMAS
SANTA CLARITA

SIGNAL HILL
SOUTH EL MONTE
SOUTH GATE
TEMPLE CITY
WALNUT
WEST HOLLYWOOD
WESTLAKE VILLAGE
WHITTIER

inspecting the project to determine the permittee's compliance with the conditions of approval. The above fees provide for one (1) initial inspection prior to the commencement of construction and two (2) subsequent inspections until the conditions of approval have been met. The Director of Regional Planning and the County Forester shall retain the right to make regular and unannounced site inspections.

3. Before commencing work authorized or required by this grant, the consulting arborist shall submit a letter to the Director of Regional Planning and the County of Los Angeles Fire Department's Forestry Division stating that he or she has been retained by the permittee to perform or supervise the work, and that he or she agrees to report to the Director of Regional Planning and the County Forester, any failure to fully comply with the conditions of the grant. The arborist shall also submit a written report on permit compliance upon completion of the work required by this grant. The report shall include a diagram showing the exact number and location of all mitigation trees planted as well as planting dates.
4. The permittee shall arrange for the consulting arborist or a similarly qualified person to maintain all remaining Oak trees on the subject property that are within the zone of impact as determined by the County Forester for the life of the Oak Tree Permit or the Conditional Use Permit.
5. The permittee shall install temporary chainlink fencing, not less than four (4) feet in height, to secure the protected zone of all remaining Oak trees on site as necessary. The fencing shall be installed prior to grading or tree removal, and shall not be removed without approval of the County Forester. The term "protected zone" refers to the area extending five (5) feet beyond the dripline of the Oak tree (before pruning), or fifteen (15) feet from the trunk, whichever is greater.
6. Copies of the Oak Tree Report, Oak tree map, mitigation planting plan and conditions of approval shall be kept on the project site and available for review. All individuals associated with the project as it relates to the Oak resource shall be familiar with the Oak Tree Report, Oak tree map, mitigation planting plan and conditions of approval.

PERMITTED OAK TREE ENCROACHMENT:

7. This grant allows encroachment within the protected zone of sixteen (16) trees of the Oak genus identified as Tree number 1, 7, 12, 13, 9, 19, 21, 24, 25, 26, 17, 18, 27, 28, 29, and OP219 on the applicant's site plan and Oak Tree Report. Trenching, excavation, or clearance of vegetation within the protected zone of an Oak tree shall be accomplished by the use of hand tools or small hand-held power tools. Any major roots encountered shall be conserved and treated as recommended by the consulting arborist.
8. In addition to the work expressly allowed by this permit, remedial pruning intended to ensure the continued health of a protected Oak tree or to improve its appearance or structure may be performed. Such pruning shall include the removal of deadwood and stubs and medium pruning of branches two-inches in diameter or less in accordance with the guidelines published by the National Arborist Association. Copies of these guidelines

are available from the County of Los Angeles Fire Department, Forestry Division. In no case shall more than 20% of the tree canopy of any one tree be removed.

9. Except as otherwise expressly authorized by this grant, the remaining Oak trees shall be maintained in accordance with the principles set forth in the publication, "Oak Trees: Care and Maintenance," prepared by the County of Los Angeles Fire Department, Forestry Division. A copy of the publication is enclosed with these conditions.

MITIGATION TREES:

10. The permittee shall provide mitigation trees of the Oak genus at a rate of two to one (2:1) for any tree specified above that dies as a result of the approved encroachments. In addition, any tree that reaches ordinance size during the construction and monitoring period shall be included in this permit and subject to these conditions of approval.
11. Each mitigation tree shall be at least a 15-gallon specimen in size and measure one (1) inch or more in diameter one (1) foot above the base. Free form trees with multiple stems are permissible provided the combined diameter of the two (2) largest stems of such trees measure a minimum of one (1) inch in diameter one (1) foot above the base.
12. Mitigation trees shall consist of indigenous varieties of Quercus agrifolia, grown from a local seed source.
13. Mitigation trees shall be planted within one (1) year of the permitted Oak tree removals. Mitigation trees shall be planted either on site or at an off-site location approved by the County Forester. Alternatively, a contribution to the County of Los Angeles Oak Forest Special Fund may be made in the amount equivalent to the Oak resource loss. The contribution shall be calculated by the consulting arborist and approved by the County Forester according to the most current edition of the International Society of Arboriculture's "Guide for Plant Appraisal."
14. The permittee shall properly maintain each mitigation tree and shall replace any tree failing to survive due to a lack of proper care and maintenance with a tree meeting the specifications set forth above. The two-year maintenance period will begin upon receipt of a letter from the permittee or consulting arborist to the Director of Regional Planning and the County Forester, indicating that the mitigation trees have been planted. The maintenance period of the trees failing to survive two (2) years will start anew with the new replacement trees. Subsequently, additional monitoring fees shall be required.
15. All mitigation Oak trees planted as a condition of this permit shall be protected in perpetuity by the Los Angeles County Oak Tree Ordinance once they have survived the required maintenance period.

NON-PERMITTED ACTIONS AND VIOLATIONS:

16. Encroachment within the protected zone of any additional tree of the Oak genus on the project site is prohibited.

17. Should encroachment within the protected zone of any additional tree of the Oak genus on the project site not permitted by this grant result in its injury or death within two (2) years, the permittee shall be required to make a contribution to the Los Angeles County Oak Forest Special Fund in the amount equivalent to the Oak resource damage/loss. Said contribution shall be calculated by the consulting arborist and approved by the County Forester according to the most current edition of the International Society of Arboriculture's "Guide for Plant Appraisal."
18. No planting or irrigation system shall be installed within the dripline of any Oak tree that will be retained.
19. Utility trenches shall not be routed within the protected zone of an Oak tree unless the serving utility requires such locations.
20. Equipment, materials and vehicles shall not be stored, parked, or operated within the protected zone of any Oak tree. No temporary structures shall be placed within the protected zone of any Oak tree.
21. Violations of the conditions of this grant shall result in immediate work stoppage or in a notice of correction depending on the nature of the violation. A time frame within which deficiencies must be corrected will be indicated on the notice of correction.
22. Should any future inspection disclose that the subject property is being used in violation of any one of the conditions of this grant, the permittee shall be held financially responsible and shall reimburse the County of Los Angeles Fire Department, Forestry Division, for all enforcement efforts necessary to bring the subject property into compliance.

To schedule a County Forester inspection, please contact the Environmental Review Unit at (818) 890-5719.

If you have any additional questions, please contact this office at (818) 890-5758.

Very truly yours,



TREVOR MOORE, ACTING ASSISTANT CHIEF, FORESTRY DIVISION
PREVENTION SERVICES BUREAU

TM:jl

Enclosure

**Oak Tree Report
for
Single-Family Home
3465 Turnbull Canyon Road
Hacienda Heights, CA 91745**

Prepared for:
Edward Huang
2356 Valle Drive
La Habra, CA 90631

Prepared by:
Alison Lancaster, #WE-12464A
Alison Lancaster Consulting Arborists LLC
1744 Franklin Street Unit B
Santa Monica, CA 90404

January 3, 2022

Table of Contents

BACKGROUND (PURPOSE)	1
ASSIGNMENT (PURPOSE)	
OBSERVATIONS	2
Site description	
Oak Woodland description	
Tree description	
Tree safety	
Project description	
IMPACTS (FINDINGS)	3
Impact assumptions	
Oak Woodland impact	
Tree encroachments	
Clearance pruning	
Excavation/grading for flat pad	
Driveway	4
Drainage swale	
Other potential impacts	
MITIGATION (RECOMMENDATIONS)	
Specific tree protection measures	
Arborist of Record (AOR)	
Monitoring during construction	
Protective fencing	5
Clearance pruning	
Excavation/grading for flat pad	
Driveway	
Drainage swale	

Utility placement_____	6
Perimeter fencing	
Monitoring after construction	
General tree protection measures	
CONCLUSIONS_____	7

Attachments

Field Inventory Data sheets_____	9
Site Location Map_____	14
Arborist Disclosure Statement_____	15
Arborist Qualification Certificate_____	16

Enclosures

Oak Tree Photos (28, digital format)

Oak Tree Plan (24" x 36")

Alison Lancaster Consulting Arborists LLC

Tree Inventory and Protection, Disease and Pest Diagnosis, Pruning and Hazard Evaluation

1744 Franklin Street Unit B
Santa Monica, CA 90404
(818) 631-4664

1/3/22

Edward Huang
2356 Valle Drive
La Habra, CA 90631

SUBJECT: LA County Oak Tree Report for 3465 Turnbull Canyon Road, Hacienda Heights, CA 91745

REFERENCES:

- 1) LA County Ordinance – Chapter 22.174 – Oak Tree Permits
- 2) LA County Oak Woodlands Conservation Management Plan Guide, dated 3/18/14
- 3) “rev Proposal for LA County Oak Tree Report...”, dated 10/17/21, Lancaster

BACKGROUND

The applicant is proposing construction of a two-story, single-family home in the Hacienda Heights area of Los Angeles County. There are protected oak trees on the subject site, thus requiring an Oak Tree Report to satisfy LA County Ordinance Chapter 22.174 for Oak Tree Permits. I visited the subject site on 11/2/21 to conduct an inventory and evaluation of the protected oak trees on and near the site. I wrote a report on 11/16/21 based upon the applicant's initial proposed site plan. Since then, the applicant has provided me with a new proposed site plan. The following report is based on my November 2021 site visit, discussion with the applicant, and review of the new site plan that was provided to me in 2022.

ASSIGNMENT

I agreed to do the following work for this project:

Tag and evaluate protected oak trees on or near the subject site¹. All data required by the LA County Oak Tree Permit Ordinance will be collected.

Write an oak tree report that complies with the requirements of the LA County Oak Tree Permit Ordinance. This will include color photographs of all oak trees and an analysis of Oak Woodland and associated impacts per the LA County Oak Woodlands Conservation Management Plan Guide.

Provide the necessary map of the oak trees in accordance with County requirements.

¹Including tree #, species, diameter, and canopy spread for oak trees measuring 5-8” in diameter, and additional information as required for oak trees measuring 8” or greater diameter.

OBSERVATIONS

Site description: The subject site is an irregularly shaped, undeveloped lot on Turnbull Canyon Road in the Hacienda Heights area of Los Angeles County. It is bordered by Turnbull Canyon Road to the south and southwest, developed residences to the north and northeast, and a mostly undeveloped lot to the northwest. There is an existing asphalt road that enters from Turnbull Canyon Road in the eastern corner and curves through the northern half of the site; it is my understanding that the driveway is a fire access easement for neighboring properties to the north. There are no other structures on the site. The northernmost portion of the site is largely inaccessible due to neighbor's chainlink fences and dense brush. The remainder of the site consists of north and northeast facing slope with some relatively flat "steps" in the slope that run parallel to Turnbull Canyon Road.

Oak Woodland description: The entire site is covered by oak woodland. The oak woodland is mostly intact, and has only been altered by the existing asphalt road and a history of brush clearance activities. Based on Table 1 – Existing Conditions that is provided in the LA County Oak Woodlands Conservation Management Plan Guide, the subject site could be considered "moderately degraded" oak woodland.

Tree description: There are 33 protected coast live oak trees (*Quercus agrifolia*) located on and near the subject site. One of the oak trees is located off-property to the north, three are located off-property to the northwest, and two are located off-property to the south. None of the inventoried oak trees qualify as heritage trees per the LA County Oak Tree Permit Ordinance. The locations, canopy driplines, and tree protection zones (TPZ) of the protected oak trees are shown on the enclosed Oak Tree Plan. Details about the size and condition of the oak trees can be reviewed on the attached Field Inventory Data sheets. A photo of each oak tree has been provided in the enclosures to this report. Two additional oak trees were recorded in the inventory and on the Oak Tree Plan for the purposes of the oak woodland analysis, but are not of qualifying size under the LA County Oak Tree Permit Ordinance and are therefore not protected; the two non-protected oak trees will not be discussed further in this report.

Tree safety: I have not evaluated trees on this property for safety. Without a thorough and focused "risk assessment," it is difficult to estimate the likelihood that a tree may fail and cause damage to life or property. Even with such an assessment, there are no guarantees that a tree will not fail unexpectedly. Trees are dynamic living organisms subject to many influencing factors. All trees are potentially hazardous, regardless of their apparent health and vigor. It is impossible to be certain that a tree is absolutely safe.

Project description: The proposed project is for construction of a two-story, single-family home in the western portion of the subject site. There will be excavation and grading in the western part of the site to create a flat pad for the new home. The home will include an attached three-car garage on the eastern side, attached verandas and a porch on the northern side, and short walls and planter space to the north to create the rear yard. A new concrete driveway will be constructed that extends from a driveway pad on the east side of the home and runs roughly parallel to the existing asphalt road. A drainage swale will be constructed south of the house that will run parallel to Turnbull Canyon Road before turning toward the existing asphalt driveway near the center of the site. There is no landscaping as part of the proposed project, except in the planter areas that will be constructed north of the house.

IMPACTS

Impact assumptions: The assessment of impacts given below is based on certain assumptions. If these assumptions prove to be incorrect, impacts could be greater.

1. All mitigation measures will be followed carefully as described.
2. I have a complete and correct understanding of the proposed project².
3. The proposed project design will not change significantly, except as recommended in this report.
4. I have correctly identified where the property lines are.
5. All trees are mapped correctly.
6. The proposed project does not include any landscaping, except in the planter areas that will be constructed north of the house.
7. The existing asphalt driveway will be subject to pothole repairs only – there will be no major repairs, widening, or other construction activities involving the existing driveway.

Oak Woodland impact: The proposed new home will be located in an existing open space on the site and will not require removal of any oak trees. Because the slopes surrounding the proposed home will be left intact, with no plans for landscaping or other construction activities there, woodland regeneration potential and understory oak associates should not be affected. Based on Table 2 – Impact Severity that is provided in the LA County Oak Woodlands Conservation Management Plan Guide, the proposed project should only have “low” impact on the moderately degraded oak woodland at the subject site. Based on Table 3 – Estimated Level of Significance, the project impacts to the oak woodland should be “less than significant”.

Tree encroachments: Based on the site plan provided to me, I anticipate minor cumulative project impacts to Trees 1, 7, 12, 13, 19, and 25; moderate cumulative project impacts to Trees 9 and 24; and major cumulative impacts to Trees 21 and 26. However, if the mitigation measures provided below are adhered to, project impacts will be reduced. There should be no project impacts to the remaining 23 protected oak trees if protective fencing is installed as per my recommendation. **No protected oak trees will be removed as a result of the proposed project.**

Clearance pruning- In order to accommodate equipment access on the site, clearance above the existing asphalt road may be necessary. It is unknown at this time what height of clearance may be necessary, but there are four oak trees whose canopies overhang the road that may require clearance pruning: Trees 1, 7, 25, and 26. In addition, Trees 9, 21, 24, 25, and 26 may need pruning to accommodate construction of the proposed new two-story home and the new driveway. It is anticipated that clearance pruning impacts will be minor overall.

Excavation/grading for flat pad- Excavation and grading activities to create the flat pad for the proposed home will take place within six feet to the east of Tree 21. Depending on the depth of this tree’s root system, and the depth of the required excavation or grading, root loss for Tree 21 as a result of this activity could be significant.

² I was not provided with clear details or information on utility location or perimeter fencing for the proposed project.

Driveway- The proposed driveway is located within six feet of Tree 9, 12 feet of Trees 12, 13, and 24, eight feet of Tree 25, and five feet of Tree 26. According to the plan, there is no proposed grading of the driveway route; however, there will most likely be subgrade activity below the driveway including excavation and recompaction. Therefore, impacts to each of the trees noted in this section will depend on the driveway's required construction.

Drainage swale- The proposed drainage swale runs parallel to Turnbull Canyon Road on the southern side of the proposed house, then turns northeast near the center of the site and runs toward the existing asphalt road. Where the drainage swale turns northeast, it will pass within eight feet of Tree 24 and 12 feet of Tree 26. If excavation is required for construction of the drainage swale, there could be root zone impacts to both trees.

Other potential impacts- The proposed project includes a new water utility line and a perimeter fence along Turnbull Canyon Road. I was not provided with details about either of these project components, and was therefore unable to assess the impacts. However, I have provided mitigation measures called "Utility placement" and "Perimeter fencing" that offer guidance on how to design and construct these two project components with the least impact to protected oak trees.

MITIGATION

Specific tree protection measures: The following specific tree protection measures should be applied as written.

Arborist of Record (AOR)- The applicant shall retain the services of an Arborist of Record (AOR) as required by the County. This is based on the County's requirement that all work within TPZs be directed by the AOR, and is intended to allow for advance scheduling.

It is the AOR's responsibility to notify the County of any unsatisfactory conditions or of any non-compliance with the Conditional Use permit or Oak Tree Permit. The applicant agrees that the AOR's responsibilities may also include periodic unannounced site visits to monitor compliance.

The client shall notify the AOR upon completion of the project so that a report describing successful Oak Tree Permit compliance can be submitted. Final sign-off for the project requires this report be completed.

The client shall arrange for the AOR to monitor all protected oak trees on the site (and any planted oak trees, as applicable) for a period of at least two years (or as required by the County) following the completion of the work authorized by the Oak Tree Permit.

Monitoring during construction- The AOR shall be notified at least 96 hours prior to the performance of all work described above and the installation of required protective fencing, so that they can schedule the inspection of that work. In addition, the AOR may visit the site unannounced to ensure compliance with all relevant conditions of approval.

Protective fencing- Protective fencing shall be installed as shown on the enclosed Oak Tree Plan. ***The AOR shall inspect all protective fencing prior to any work commencing on the site.***

If it is done properly, protective fencing around trees in construction zones is the best possible means of minimizing impacts related to construction. **Protective fencing shall be installed prior to any demolition, grubbing, grading, or other construction activities. Fencing will be chain-link, at least 5 feet high, and held in place by steel stakes driven directly into the ground.** There shall be no easy access into the protection zone. If a gate in the protective fencing is necessary, it shall be padlocked during construction activities with limited, authorized access only. All protective fencing shall remain intact until construction is completed.

No workers shall enter the fenced protection zone. No storage, waste disposal, equipment clean-out, outhouse, or vehicle parking will be allowed within the fenced area. The purpose is to keep the tree's root zone area free from any disturbance of any sort throughout the period of construction activity.

Clearance pruning- The best time for oak tree pruning is July or August. However, this timing is not always feasible for a project timeline, so clearance pruning shall be done only once it is clear exactly what pruning is required to accommodate construction. ***The AOR shall be present to determine the required clearance pruning cuts and to oversee the clearance pruning work.*** All pruning shall conform to ANSI A-300 standards at a minimum.

Excavation/grading for flat pad- Any excavation and grading required within 12 feet of the trunk of Tree 21 shall be completed using hand tools only. If any roots measuring less than two inches diameter are encountered, they shall be cut with a sharp, clean hand tool at right angles to the root behind any damage. No wound treatment shall be applied to the pruning cut. ***If any roots measuring two inches diameter or larger are encountered, work shall cease and the AOR shall be consulted on how to proceed.***

Driveway- The driveway shall be designed so that no subgrade activity is necessary. If subgrade activity is unavoidable, the driveway shall be designed such that subgrade activity is minimized. Where any excavation for the driveway will be required within 12 feet of a protected oak tree trunk, the work shall be completed using hand tools only. If any roots measuring less than two inches diameter are encountered, they shall be cut with a sharp, clean hand tool at right angles to the root behind any damage. No wound treatment shall be applied to the pruning cut. ***If any roots measuring two inches diameter or larger are encountered, work shall cease and the AOR shall be consulted on how to proceed.***

Drainage swale- Where the drainage swale will pass within 12 feet of a protected oak tree trunk, the excavation for the swale shall be completed using hand tools only. If any roots measuring less than two inches diameter are encountered, they shall be cut with a sharp, clean hand tool at right angles to the root behind any damage. No wound treatment shall be applied to the pruning cut. ***If any roots measuring two inches diameter or larger are encountered, work shall cease and the AOR shall be consulted on how to proceed.***

Utility placement- Utilities shall be placed outside the TPZ of protected oak trees wherever possible. Wherever placement outside a TPZ is not possible, all utility trenching shall be done using hand tools only (no power tools except air spades will be used). Any roots measuring less than two inches diameter that are encountered during utility trenching shall be cut with a sharp, clean hand tool at right angles to the root behind any damage. No wound treatment should be applied to the pruning cut. ***If any roots measuring two inches diameter or larger are encountered during utility trenching activities, work shall cease and the AOR shall be consulted on how to proceed.***

Perimeter fencing- Perimeter fencing shall be post-in-concrete type of construction only. There shall be no continuous footings as part of the perimeter fencing design. The post-holes shall be no wider than 14 inches, and shall be dug manually. While digging, if any roots measuring two inches in diameter or larger are encountered, the post-hole shall be moved to avoid the root.

Monitoring after construction- The AOR shall visit the property on a quarterly basis for two years after completion of construction to inspect the oak trees (or as required by the County). Any problems with the oak trees' continued survival will be reported to the County. If any of the saved oak trees fail to survive, they will be mitigated for according to County requirements, with three year survival monitoring required on all replacement trees.

General tree protection measures:

The following additional measures should be applied where they are relevant. If there is a conflict between the Specific tree protection measures for this project (see above) and any of these general tree protection measures, the Specific tree protection measures supersede.

1. All work conducted in the ground within the tree protection zone of any protected oak tree should be accomplished with hand tools only. The tree protection zone is defined as the area within five feet of the canopy dripline or 15 feet from the trunk, whichever is greater.
2. Where structural footings are required and major roots will be impacted, the footing depth should be reduced to 12". This may require additional "rebar" for added strength. An alternative would involve bridging footings over roots and covering each root with plastic cloth and 2-4" of Styrofoam matting before pouring concrete.
3. Any required trenching which has multiple trench path options should be routed in such a manner as to minimize root damage. Radial trenching is less harmful than tangential trenching because it runs parallel to tree roots rather than diagonal or perpendicular to them. Whenever possible, trenching should work around roots rather than cutting them. Place pipes and cables below uncut roots, and utilize the same trench for as many utilities as possible.
4. "Natural" or pre-construction grade should be maintained for as great a distance from the trunk of all protected trees as construction permits. At no time during or after construction shall soil be in contact with the trunk of a protected tree above natural grade.

5. In areas where grade will be lowered, or where footings will be dug, some root cutting may be unavoidable. Cuts should be made cleanly with a sharp saw or pruning tool, far enough behind the damage that all split and cracked root portions are removed. The cut should be made at right angles to the root so that the wound is no larger than necessary. When practical, cut roots back to a branching lateral root. Do not apply any pruning wound treatment to cuts.

6. When removing pavement, as little disruption of soil as necessary should be attempted. This may mean using hand tools within the root protection zone of protected trees. It may also mean removing the pavement in a backwards direction away from the trunks of protected trees, while keeping personnel and equipment on the pavement as it is removed.

7. Pruning of oaks should be limited to the removal of dead wood and the correction of potentially hazardous conditions, as evaluated by a qualified arborist. Pruning oaks excessively is harmful to them. Removal or reduction of major structural limbs should be done only as required for actual building clearance or safety. If limbs must be removed, cuts should be made perpendicular to the branch, to limit the size of the cut face. The branch bark collar should be preserved (i.e. no "flush cuts"), and cuts should be made in such a way as to prevent the tearing of bark from the tree. All pruning should be done in accordance with ANSI A300 pruning standards. No pruning wound treatment (e.g. "Tree Seal") should be applied.

8. To minimize soil compaction, keep all activity and traffic to a minimum within the root protection zone.

9. It is important that the tree protection zone not be subjected to flooding incidental to the construction work, or to disposal of construction debris such as paints, plasters, or chemical solutions. No equipment fueling or chemical mixing should be done within the root protection zone.

10. In general, it is best to minimize the amount of environmental change that protected trees will be subjected to. This includes drastic changes in watering practices from historic conditions, such as increases or decreases in the amount or frequency of water applied.

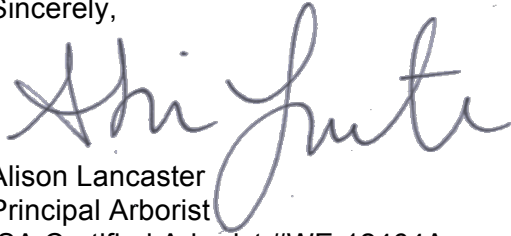
11. Care should be exercised not to allow equipment to physically damage protected tree trunks, root crowns, or lower scaffold branches during construction. This includes but is not limited to 1) impact damage by scrapers, buckets, or hoes; or 2) damage by tires, wheels, or tracks from operating in close proximity to trees.

CONCLUSIONS

There are 33 protected oak trees on the subject site. The proposed project does not cause the removal of any of the protected oak trees. I anticipate minor impacts to six of the oak trees, moderate impacts to two oak trees, and major impacts to another two oak trees. However, these impacts will be reduced if the mitigation measures in this report are followed closely. The remaining 23 protected oak trees should not be impacted by the proposed project.

Please let me know if I can be of any further assistance or if you have additional questions.

Sincerely,

A handwritten signature in dark ink, appearing to read "Alison Lancaster". The signature is fluid and cursive, with the first name "Alison" written in a larger, more prominent script than the last name "Lancaster".

Alison Lancaster
Principal Arborist
ISA Certified Arborist #WE-12464A

Attached: Field Inventory Data sheets (5)
 Site Location Map
 Arborist Disclosure Statement
 Arborist Qualification Certificate

Enclosed: Oak Tree Photos (28, digital format)
 Oak Tree Plan (24" x 36")

tree #	species	dsh*	hertg RCD	SER	canopy dripline**				photo
					n	e	s	w	
1	<i>Quercus agrifolia</i>	21	No		~15	20	10	25	Yes
2	<i>Quercus agrifolia</i>	10,9,7 @ 3'	No		~15	12	6	14	Yes
3	<i>Quercus agrifolia</i>	8,7,5	No		~12	9	11	18	Yes
4	<i>Quercus agrifolia</i>	10,10,2	No		~12	13	14	20	Yes
5	<i>Quercus agrifolia</i>	5	Not applicable		7' radius				Yes
6	<i>Quercus agrifolia</i>	22	No		~20' radius				Yes
7	<i>Quercus agrifolia</i>	30 @ 2'	No		31	30	19	18	Yes
8	<i>Quercus agrifolia</i>	~7,7	No		14' radius				Yes

tree #	aesthetics***				structural remedies	problems		
	symmetry	breakage	balance	branching		total	disease	insect
1	2	2	2	2	Maintenance pruning to remove deadwood	None observed	Ehrhorn's scale	Fire
2	1	3	2	2		None observed	None observed	None
3	2	3	2	2		None observed	Ehrhorn's scale	None
4	2	2	2	2		None observed	None observed	None
5	Not applicable – not a protected tree					Not applicable		
6	2	1	2	2	None observed	None observed	Fire	
7	2	3	3	2	None observed	Ehrhorn's scale	Fire	
8	3	3	3	2	None observed	None observed	None	

tree #	vigor rating****	health rating	health recommendations	construction impacts	suggested mitigation or maintenance	anticipated effectiveness
1	10/15	Fair	None	Minor	See enclosed Oak Tree Report	
2	7/15	Poor		None		
3	7/15	Poor		None		
4	9/15	Fair		None		
5	Not applicable				Not applicable	
6	10/15	Fair		None	See enclosed Oak Tree Report	
7	8/15	Fair		Minor		
8	9/15	Fair		None		

* Diameter is measured in inches at standard height of 4.5 feet above grade

** Canopy dripline is estimated in feet in four compass directions, unless indicated otherwise

*** Aesthetic categories are rated on a scale of 1 (low) to 3 (high), for a possible 4 to 12 points

**** Vigor is rated on a scale of 1 (low) to 3 (high), for a possible 5 to 15 points, for five categories: bark expansion, canopy density, canopy dieback, canopy color, and shoot elongation.

tree #	species	dsh*	hertg RCD	SER	canopy dripline**				photo
108	<i>Quercus agrifolia</i>	~7,6,6	No		n	e	s	w	Yes
OP110	<i>Quercus agrifolia</i>	~16,7 @ 2'	No		15' radius				Yes
9	<i>Quercus agrifolia</i>	18 @ grade	No		18' radius				Yes
OP10	<i>Quercus agrifolia</i>	~28	No		10	11	14	11	Yes
PL11	<i>Quercus agrifolia</i>	4,4,4,4,3	No		19	26	~22	23	Yes
12	<i>Quercus agrifolia</i>	15,5	No		14	14	6	6	Yes
13	<i>Quercus agrifolia</i>	11,7	No		18	21	7	19	Yes
OP14	<i>Quercus agrifolia</i>	~24	No		12	—	8	21	Yes
					16	17	~15	17	Yes

tree #	aesthetics***				structural remedies	problems		
	symmetry	breakage	balance	branching		disease	insect	cultural
108	2	3	2	2	Maintenance pruning to remove deadwood	None observed	None observed	None
OP110	3	3	2	2		None observed	None observed	None
9	2	3	3	2		None observed	None observed	Fire
OP10	2	2	2	2		None observed	None observed	Fire
PL11	2	3	2	1		None observed	None observed	None
12	2	2	2	2		None observed	None observed	Fire
13	1	2	1	1		None observed	None observed	Fire
OP14	3	2	2	2		None observed	None observed	Fire

tree #	vigor rating****	health rating	health recommendations	construction impacts	suggested mitigation or maintenance	anticipated effectiveness
108	9/15	Fair	None	None	See enclosed Oak Tree Report	
OP110	9/15	Fair		None		
9	9/15	Fair		None		
OP10	8/15	Fair		None		
PL11	8/15	Fair		None		
12	8/15	Fair		None		
13	8/15	Fair		None		
OP14	9/15	Fair		None		

* Diameter is measured in inches at standard height of 4.5 feet above grade

** Canopy dripline is estimated in feet in four compass directions, unless indicated otherwise

*** Aesthetic categories are rated on a scale of 1 (low) to 3 (high), for a possible 4 to 12 points

**** Vigor is rated on a scale of 1 (low) to 3 (high), for a possible 5 to 15 points, for five categories: bark expansion, canopy density, canopy dieback, canopy color, and shoot elongation.

tree #	species	dsh*	hertg RCD	SER	canopy dripline**				photo
					n	e	s	w	
PL15	<i>Quercus agrifolia</i>	18	No		8	4	~15	16	Yes
16	<i>Quercus agrifolia</i>	14 @ 1'	No		18	7	~18	5	Yes
17	<i>Quercus agrifolia</i>	18	No		20	11	~18	20	Yes
18	<i>Quercus agrifolia</i>	25 @ 1'	No		19	30	22	15	Yes
19	<i>Quercus agrifolia</i>	14	No		25	—	—	18	Yes
20	<i>Quercus agrifolia</i>	15,9,5	No		20	18	~18	23	Yes
21	<i>Quercus agrifolia</i>	16 @ 3.5'	No		18	16	10	9	Yes
22	<i>Quercus agrifolia</i>	8	No		4	9	12	5	Yes

tree #	aesthetics***				structural remedies	problems		
	symmetry	breakage	balance	branching		disease	insect	cultural
PL15	1	1	2	2	Maintenance pruning to remove deadwood	None observed	None observed	Fire
16	2	2	2	1		None observed	None observed	Fire
17	2	2	2	2		None observed	None observed	Fire
18	2	2	2	2		None observed	None observed	Fire
19	1	3	1	2		None observed	None observed	Fire
20	2	3	2	2		None observed	None observed	Fire
21	2	3	3	2		None observed	None observed	Fire
22	2	3	2	2		None observed	None observed	None

tree #	vigor rating****	health rating	health recommendations	construction impacts	suggested mitigation or maintenance	anticipated effectiveness
PL15	8/15	Fair	None	None	See enclosed Oak Tree Report	
16	8/15	Fair		None		
17	8/15	Fair		None		
18	10/15	Fair		None		
19	7/15	Poor		None		
20	7/15	Poor		None		
21	10/15	Fair		Moderate		
22	10/15	Fair		None		

* Diameter is measured in inches at standard height of 4.5 feet above grade

** Canopy dripline is estimated in feet in four compass directions, unless indicated otherwise

*** Aesthetic categories are rated on a scale of 1 (low) to 3 (high), for a possible 4 to 12 points

**** Vigor is rated on a scale of 1 (low) to 3 (high), for a possible 5 to 15 points, for five categories: bark expansion, canopy density, canopy dieback, canopy color, and shoot elongation.

tree #	species	dsh*	hertg RCD	SER	canopy dripline**				photo
					n	e	s	w	
OP217	<i>Quercus agrifolia</i>	19	No		20	22	11	18	Yes
OP216	<i>Quercus agrifolia</i>	15,7	No		19	21	15	9	Yes
PL23	<i>Quercus agrifolia</i>	10,8,5 @ 4'	No		16	17	4	14	Yes
24	<i>Quercus agrifolia</i>	26	No		22	27	20	12	Yes
25	<i>Quercus agrifolia</i>	13	No		20	18	10	9	Yes
26	<i>Quercus agrifolia</i>	25,14	No		30	34	34	18	Yes
27	<i>Quercus agrifolia</i>	22 @ 2'	No		24	22	22	18	Yes
28	<i>Quercus agrifolia</i>	14 @ 2.5'	No		20	18	17	15	Yes

tree #	aesthetics***				structural remedies	problems		
	symmetry	breakage	balance	branching		disease	insect	cultural
OP217	2	3	2	2	Maintenance pruning to remove deadwood	None observed	None observed	Fire
OP216	2	2	3	2		None observed	None observed	Fire
PL23	2	3	2	2		None observed	None observed	Fire
24	2	2	2	2		None observed	None observed	Fire
25	2	3	2	2		None observed	None observed	Fire
26	2	2	2	2		None observed	None observed	Fire
27	2	3	2	2		None observed	None observed	Fire
28	3	2	3	2		None observed	None observed	None

tree #	vigor rating****	health rating	health recommendations	construction impacts	suggested mitigation or maintenance	anticipated effectiveness
OP217	10/15	Fair	None	None	See enclosed Oak Tree Report	
OP216	6/15	Poor		None		
PL23	10/15	Fair		Minor		
24	8/15	Fair		Minor		
25	10/15	Fair		Minor		
26	9/15	Fair		Major		
27	11/15	Fair		None		
28	12/15	Fair		None		

* Diameter is measured in inches at standard height of 4.5 feet above grade

** Canopy dripline is estimated in feet in four compass directions, unless indicated otherwise

*** Aesthetic categories are rated on a scale of 1 (low) to 3 (high), for a possible 4 to 12 points

**** Vigor is rated on a scale of 1 (low) to 3 (high), for a possible 5 to 15 points, for five categories: bark expansion, canopy density, canopy dieback, canopy color, and shoot elongation.

tree #	species	dsh*	hertg RCD	SER	canopy dripline**				photo
29	<i>Quercus agrifolia</i>	19 @ 3'	No		n	e	s	w	Yes
30	<i>Quercus agrifolia</i>	6	Not applicable		15	21	28	15	Yes
OP219	<i>Quercus agrifolia</i>	33 @ .5'	No		9	7	3	3	Yes
					26	24	24	30	Yes

tree #	aesthetics***				structural remedies	problems		
	symmetry	breakage	balance	branching		disease	insect	cultural
29	1	1	2	2	Maintenance pruning to remove deadwood	None observed	None observed	Trunk failure
30	Not applicable – not a protected tree					Not applicable		
OP219	2	3	3	2		None observed	None observed	Fire

tree #	vigor rating****	health rating	health recommendations	construction impacts	suggested mitigation or maintenance	anticipated effectiveness
29	14/15	Good	None	None	See enclosed Oak Tree Report	
30	Not applicable				Not applicable	
OP219	6/15	Poor		Minor	See enclosed Oak Tree Report	

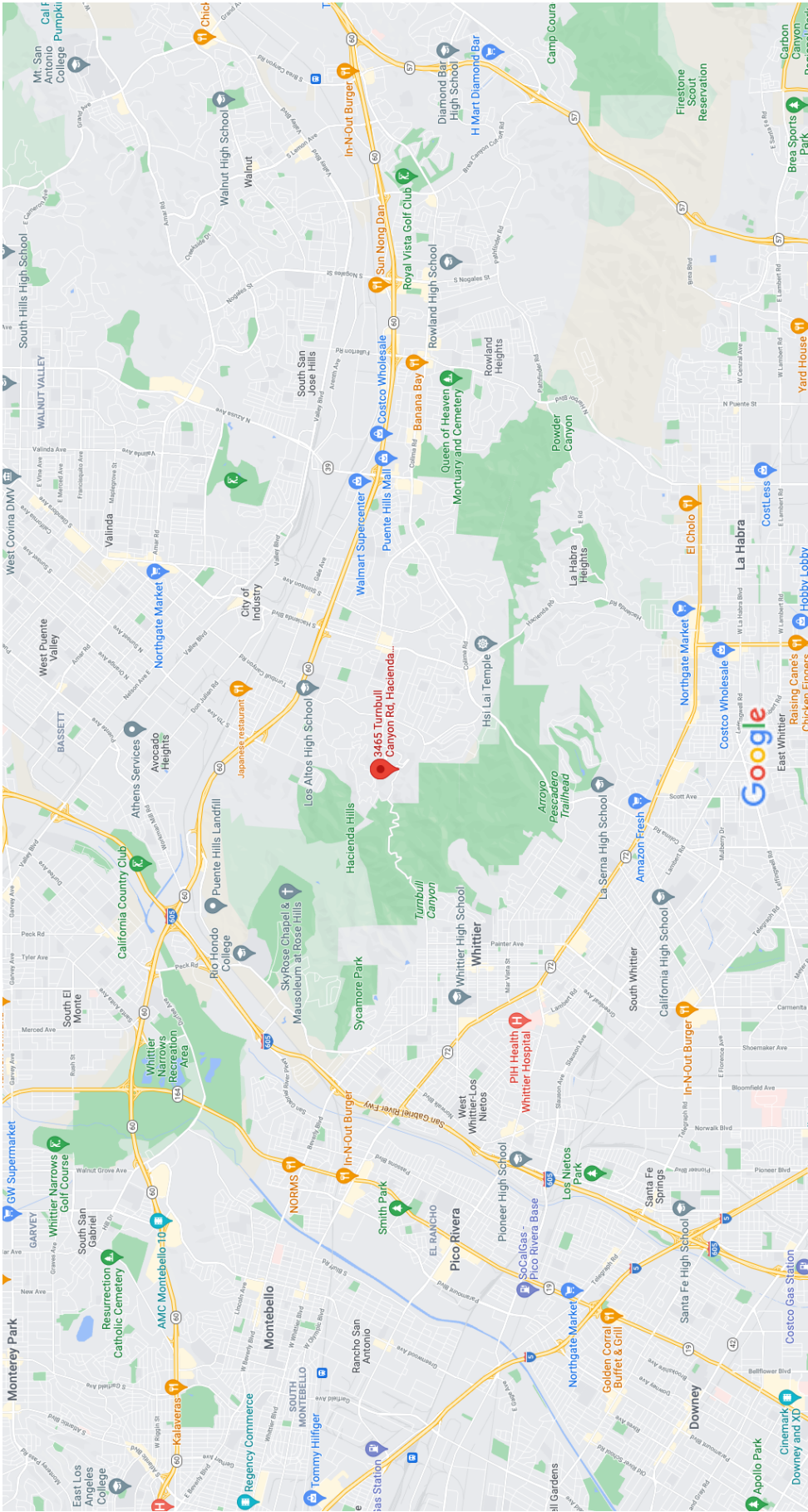
* Diameter is measured in inches at standard height of 4.5 feet above grade

** Canopy dripline is estimated in feet in four compass directions, unless indicated otherwise

*** Aesthetic categories are rated on a scale of 1 (low) to 3 (high), for a possible 4 to 12 points

**** Vigor is rated on a scale of 1 (low) to 3 (high), for a possible 5 to 15 points, for five categories: bark expansion, canopy density, canopy dieback, canopy color, and shoot elongation.

Google Maps 3465 Turnbull Canyon Rd



Alison Lancaster Consulting Arborists LLC

Tree Inventory and Protection, Disease and Pest Diagnosis, Pruning and Hazard Evaluation

1744 Franklin Street Unit B
Santa Monica, CA 90404
(818) 631-4664

ARBORIST DISCLOSURE STATEMENT

Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance their health and structure, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments cannot be guaranteed.

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, landlord-tenant matters, etc. Arborists cannot take such issues into account unless complete and accurate information is given to the arborist. Even with complete and accurate information, arborists are not attorneys and cannot provide legal guidance on these issues. The person hiring the arborist accepts full responsibility for authorizing recommended treatment or remedial measures.

Trees can be managed, but they cannot be controlled. To live near a tree is to accept some degree of risk. The only way to eliminate all risks is to eliminate all trees.

Please note the following important considerations:

- You should never authorize or do any work on any tree unless you are certain of that tree's ownership, and you have confirmed that you solely own the tree, or that anyone else having a claim to the tree has given you permission in writing authorizing your proposed action.
- Before removing a tree, be sure it is your tree to remove.
- Trees on property lines belong to both properties.
- Working on trees hanging into or over your yard that belong to a neighbor may result in "unreasonable damage" to their tree and could expose you to litigation.

INTERNATIONAL SOCIETY OF ARBORICULTURE

CERTIFIED ARBORIST™

Alison Lancaster

Having successfully completed the requirements set by the
International Society of Arboriculture, the above named
is hereby recognized as an ISA Certified Arborist®



Luana Vargas
Director of Credentialing Services
International Society of Arboriculture

Caitlyn Pollihan
Executive Director
International Society of Arboriculture



#0847
ISO/IEC 17024
Personnel Certification Program
ISA Certified Arborist®

WE-12464A

Certification Number

25 Jan 2019

Certified Since

30 Jun 2022

Expiration Date

Alison Lancaster Consulting Arborists LLC

Tree Inventory and Protection, Disease and Pest Diagnosis, Pruning and Hazard Evaluation

1744 Franklin Street Unit B
Santa Monica, CA 90404
(818) 631-4664

updated 6/20/22

Edward Huang
2356 Valle Drive
La Habra, CA 90631

SUBJECT: Addendum to LA County Oak Tree Report for 3465 Turnbull Canyon Road

REFERENCES:

- 1) LA County Ordinance – Chapter 22.174 – Oak Tree Permits
- 2) LA County Oak Tree Report, dated 1/3/22, Lancaster
- 3) Email, dated 4/20/22 at 11:29AM, Carl Nadela at LA County DRP (Forester comments)
- 4) Email, dated 4/20/22 at 3:36PM, Nadela (approving addendum assignment)
- 5) Email, dated 5/11/22 at 2:08PM, Nadela (Biologist comments)

The County's Foresters and Biologist have reviewed the Oak Tree Report (OTR) for the applicant's proposed project at 3465 Turnbull Canyon Rd as required by LA County Ordinance Chapter 22.174 for Oak Tree Permits, and have provided additional impact opinions, protection measures, and oak woodland comments. Carl Nadela from LA County Department of Regional Planning (DRP) reached out to me on 4/20/22 with a request to prepare an addendum that will memorialize their comments alongside the OTR.

The OTR outlines impacts and protection measures for the following 10 oak trees:

1, 7, 9, 12, 13, 19, 21, 24, 25, and 26.

The Foresters add the following 6 additional oak trees that in their opinion will also be impacted by the applicant's proposed project:

17, 18, OP219, 27, 28, and 29.

The Foresters also add the following protection measures for the 6 additional oak trees:

“Trenching, excavation, or clearance of vegetation within the protected zone of an Oak tree shall be accomplished by the use of hand tools or small hand-held power tools. Any major roots encountered shall be conserved and treated as recommended by the consulting arborist.”

The Biologist adds the following comments regarding oak woodland impacts:

"Because of the moderately degraded condition of the [oak] woodland, and the avoidance of any [oak] removals, preservation of the remainder of the oak woodland at a minimum 1:1 ratio will be sufficient to avoid a significant impact to the woodland."

The applicant has provided the attached Fuel Modification Plan that reflects oak woodland preservation as recommended by the Biologist.

Please let me know if I can be of any further assistance or if you have additional questions.

Sincerely,

A handwritten signature in dark ink, appearing to read "Alison Lancaster", written in a cursive style.

Alison Lancaster
Principal Arborist
ISA Certified Arborist #WE-12464A

Attached: Fuel Modification Plan, Sheets 1 and 2, dated 5/26/22

